



CITY COUNCIL AGENDA





## CITY COUNCIL AGENDA

City Hall - Midwest City Council Chambers, 100 N. Midwest Boulevard

June 23, 2026 - 3:00 PM

Presiding members: Mayor Rick Rice

Ward 1 Brian Triger

Ward 3 Raymond Melton

Ward 5 Sara Bana

Ward 2 Pat Byrne

Ward 4 Marc Thompson

Ward 6 Rick Favors

City Staff:

City Manager Tim Lyon

City Clerk Sara Hancock

City Attorney Don Maisch

A. CALL TO ORDER.

B. OPENING BUSINESS.

1. Invocation

2. Pledge of Allegiance

3. Community-related announcements and comments

C. CONSENT AGENDA. These items are placed on the Consent Agenda so the Council members, by unanimous consent, can approve routine agenda items by one motion. If any Council member requests to discuss an item(s) or if there is not unanimous consent, then the item(s) will be removed and heard in regular order.

1. Discussion, consideration and possible action to approve the meeting minutes for May 26, 2026. (City Clerk - S. Hancock)

2. Discussion, consideration and possible action of approving supplemental budget adjustments to the following funds for FY 2025-2026 increases/decreases: Park & Recreation, expenditures/Infrastructure (06) \$44,800. Activity Fund, revenue/Miscellaneous (78) \$3,000; expenditures/Trees (78) \$3,000. Municipal Court, revenues/Investment Interest (00) \$1,500. General Fund, revenues/Transfers In (00) \$1,500. Downtown Redevelopment, revenues/Interest Revenue (00) \$-7,142. Urban Renewal, revenues/Interest Revenue (00) \$7,142. Street Light Fee, expenditures/Utilities (14) \$57,000; expenditures/Fleet Fuel (14) \$1000. General Government Sales Tax, expenditures/Small Tools & Equip. (15) \$3,539. General Fund, expenditures/Vacation Buyback (08) \$2,400; expenditures/Separation Pay (08) \$3,780; expenditures/Salary (08) \$26,000; expenditures/Fleet Fuel (15) \$2,000; expenditures/Fleet Parts (15) \$2,000; expenditures/Fleet Labor (15) \$2,000. General Fund, expenditures/Contractual (19) \$-394. Park & Recreation, expenditures/Contractual (19) \$394. Hotel/Motel Fund, expenditures/Transfer Out Parks & Rec (87) \$120,000; expenditures/Transfer Out EDA (87) \$40,000. Park &

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- Recreation, revenues/Transfer In (00) \$120,000. Revenues Bond Sinking, expenditures/Transfer Out (00) \$90,000. Capital Improvements, revenues/Transfer In (00) \$90,000. G.O. Debt Service, expenditures/Transfer Out (00) \$41,000. Activity Fund, revenues/Miscellaneous (78) \$4,000; expenditures/Fundraising Supplies (78) \$4,000; 2018 Election G.O. Bonds, revenues/Transfer In (00) \$41,000. Reimbursed Projects, revenues/Miscellaneous (37) \$570; expenditures/Other Expenses (37) \$570. L&H Benefits, expenditures/Health Claims (03) \$345,000. (Finance- T. Cromar)
3. Discussion, consideration and possible action of approving supplemental budget adjustments to the following funds for FY 2025-2026 increase: Park & Recreation, expenditures/Building (06) \$22,255. (Finance- T. Cromar)
  4. Discussion, consideration and possible action of approving the reappointment of Lindse Barks (Ward 2) for a one-year term ending June 23, 2027 and Debbie Moore (Ward 4) for a two-year term ending June 23, 2028 to the Midwest City Arts Council. (City Management V. Sullivan)
  5. Discussion, consideration, and possible action to appoint Joel Bryant for a term to expire December 13, 2028, and reappoint Cy Valanejad for a term to expire May 13, 2029, to the Board of Adjustment. (Community Development - M. Summers)
  6. Discussion, consideration and possible action of appointing Rita Maxwell to the Urban Renewal Authority and re-appointing Sherry Beard and Aaron Budd to the Urban Renewal Authority for three-year terms. (T. Lyon – City Manager).
  7. Discussion, consideration, and possible action to elect Ms. Kathryn Thomsen for appointment, replacing Ms. Espaniola Bowen and to elect Mr. Steve Carano to be reappointed to the Central Oklahoma Master Conservancy District Board of Directors for four (4) year terms to end on July 28, 2030. (Public Works - R. Paul Streets)
  8. Discussion, consideration, and possible action of approving the FY 2026/2027 General Mutual Cooperation Agreement between the City of Midwest City and the Board of County Commissioners of Oklahoma County. (Public Works - R. Paul Streets)
  9. Discussion, consideration, and possible action of making a matter of record Permit No. SL000055260300 from the Oklahoma Department of Environmental Quality for the construction of the SE 15<sup>th</sup> Street Sewer Extension project, Midwest City, Oklahoma. (Public Works - R. Paul Streets)
  10. Discussion, consideration, and possible action of approving a maintenance and services contract with Oklahoma Mountain Bike Association, Inc., for landscape improvements and maintenance of mountain bike trails at the SCIP Recreational Trail. (Public Works - R. Paul Streets)
  11. Discussion, consideration, and possible action of accepting a Grant of Temporary Easement from the Midwest City Hospital Authority across property located at 8920 SE 29th Street within the Northeast Corner of the Northeast Quarter (NE/4) of Section Fourteen (14), Township Eleven (11) North, Range Two (2) West of the Indian Meridian, Oklahoma County, Oklahoma within the municipal corporate boundaries of

City Council

Midwest City. (Public Works - R. Paul Streets)

12. Discussion, consideration, and possible action of accepting a Grant of Permanent Easement from the Midwest City Hospital Authority across property located at 8920 SE 29th Street within the Northeast Corner of the Northeast Quarter (NE/4) of Section Fourteen (14), Township Eleven (11) North, Range Two (2) West of the Indian Meridian, Oklahoma County, Oklahoma within the municipal corporate boundaries of Midwest City. (Public Works - R. Paul Streets)
13. Discussion, consideration, and possible action of approving a contract between the City of Midwest City and C4L in the amount of \$348,935.00 to provide professional services necessary to design and construct an extension to the City's Holiday Lights storage barn and delegating to the City Manager the authority to execute the contract. (Public Works - R. Paul Streets)
14. Discussion, consideration, and possible action of approving Supplemental and Modification Agreement No. 1 for State Job Number 38082(04)(05)(06)(07), with the Oklahoma Department of Transportation (ODOT) to revise the scope of the original Project Maintenance, Financing, and Right-Of-Way Agreement. (Public Works - R. Paul Streets)
15. Discussion, consideration, and possible action regarding the Administrative Services Agreement with Health Care Services Corporation to provide administrative services for the Employee Health Benefits Plan for the FY 2026-2027 for a net cost of \$69.82 per employee per month. (T. Bradley - Human Resources Director)
16. Discussion, consideration, and possible action declaring (2) large office desks, (2) large file drawers, (2) small drawers, (1) writing table, and (1) center pen drawer as surplus and authorizing disposal by public auction, sealed bid or other means as necessary. (City Management - V. Sullivan)
17. Discussion, consideration, and possible action declaring the attached 911 Call Center office furniture, (7) Chairs, (2) Filing Cabinets, and (1) Podium as surplus and authorizing disposal by public auction, sealed bid or other means as necessary. (Director of Operations - R. Rushing)
18. Discussion, consideration, and possible action declaring City property, 1000 N Redbud Dr, 106 W Lilac Ln, 400 E Lockheed Dr and 402 E Lockheed Dr as surplus property and authorizing their disposal through sealed bid, public auction, or by other means as necessary. (Community Development - M. Summers)
19. Discussion, consideration, and possible action of declaring a 2005 Chevrolet Suburban, fleet ID 07-02-07 as surplus and authorizing disposal by public auction, sealed bid or other means as necessary. (Fire - D. Beabout)

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D. DISCUSSION ITEMS.

1. (MP-33) Public hearing, discussion, consideration, and possible action to approve a Minor Plat for the property located at 223 Grandview Road, Midwest City, Oklahoma. (Community Development - M. Summers) (Ward 3)
2. (CA-83) Discussion, consideration, and possible action to consider approval of an alteration of the concrete median on Warren Drive. (Community Development - M. Summers) (Ward 1)
3. (PC-2238) Public hearing, discussion, consideration, and possible action on an ordinance to amend the zoning map from R-6 to PUD for the property described as a tract of land being a part of the East Half (E/2) of Section Eight (8), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Oklahoma County Oklahoma. (Community Development - M. Summers) (Ward 6)
4. (PC-2248) Public hearing, discussion, consideration, and possible action on an ordinance to rezone the subject property from Two-Family Attached Residential ("R-2F") to Planned Unit Development ("PUD") for the property described as Lots 4, 5, 6, 7, 8, 9, and 10 of Block 1 and Lots 2 and 3 of Block 3 of the Urban Edge Addition, located in Midwest City, Oklahoma. (Community Development - M. Summers) (Ward 3)
5. Discussion, consideration, and possible action of approving a Guaranteed Maximum Price (GMP) construction management contract with AC Owen Construction, Inc. (ACO) for construction of a two bay addition to the warehouse at the Midwest City Police Fire Training Facility, in an amount not to exceed \$428,811.00 (V. Sullivan – Assistant City Manager, Ward 2)
6. Discussion, consideration, and possible action of awarding the bid to and approving a contract with Hoey Construction Company, in the amount of \$2,397,000.00 to furnish all materials, equipment, and tools, provide all necessary labor, and complete all construction necessary for the Mid-America Park, Phase 2, project and authorizing the City Manager to execute the contract. (Public Works - R. Paul Streets) (Ward - 5).
7. Discussion, consideration, and possible action of approving a contract between the City of Midwest City, Midwest City Municipal Authority, and Allied Waste Systems, Inc., DBA Republic Services of Oklahoma City to provide citywide curbside recycling and industrial solid waste collection services and delegating to the City Manager the authority to execute the contract. (Public Works - R. Paul Streets)

- E. NEW BUSINESS/PUBLIC DISCUSSION. "In accordance with State Statute Title 25 Section 311. Public bodies - Notice. A-9, the purpose of the "New Business" section is for action to be taken at any Council/Authority/Commission meeting for any matter not known about or which could not have been reasonably foreseen 24 hours prior to the public meeting. The purpose of the "Public Discussion" section of the agenda is for members of the public to speak to the Council on any subject not scheduled on the regular agenda. The Council shall make no decision or take any action, except to direct the City Manager to take action, or to schedule the matter for discussion at a later date. Pursuant to the Oklahoma Open Meeting Act, the Council will not engage in any discussion on the matter until that matter has been placed on an agenda for discussion. THOSE ADDRESSING THE COUNCIL ARE REQUESTED TO STATE THEIR NAME AND ADDRESS PRIOR TO SPEAKING TO THE COUNCIL."

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F. EXECUTIVE SESSION.

1. Discussion, consideration, and possible action to 1) entering into executive session, as allowed under Title 25 Section 307 (B)(4) to discuss confidential communications between a public body and its attorney concerning a pending investigation, claim, or action of the public body with the advice of its attorney, determines that disclosure will seriously impair the ability of the public body to process the claim or conduct a pending investigation, litigation, or proceeding in the public interest regarding review of litigated settlements, White Tort Claim; and 2) authorizing the City Manager to take action as appropriate based on discussion. (City Manager - T. Lyon)

G. FURTHER INFORMATION.

1. (PC-2239) Public hearing, discussion, consideration, and possible action on a preliminary plat, for the property described as a tract of land being a part of the East Half (E/2) of Section Eight (8), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Oklahoma County Oklahoma. (Community Development - M. Summers) (Ward 6)
2. Monthly Residential and Commercial Building Report for May 2026 (Community Development - M. Summers)
3. Review of the May 5, 2026 Planning Commission Meeting Minutes (Community Development - M. Summers)
4. Review of the February 17, 2026 Board of Adjustment Minutes (Community Development - M. Summers)
5. Review of the March 17, 2026 Board of Adjustment Minutes (Community Development - M. Summers)
6. Monthly report on the City of Midwest City Employees' Health Benefits Plan by the City Manager. (T. Bradley - Human Resources Director)
7. Review of the monthly report of the Delta Hotel at the Reed Center. (R. Rushing - Director of Operations)
8. Review of the City Manager's Report for the month of May 2026. (Finance - T. Cromar)

H. ADJOURNMENT.



CONSENT AGENDA



Notice for the Midwest City Council meetings was filed for the calendar year with the City Clerk of Midwest. Public notice of this agenda was accessible at least 24 hours before the meeting at City Hall and on the Midwest City website (www.midwestcityok.org).

## Midwest City Council Minutes

May 26, 2026

This meeting was held in the City Hall Council Chambers at City Hall, 100 N. Midwest Boulevard, Midwest City, County of Oklahoma, State of Oklahoma.

Mayor Richard R. Rice called the meeting to order at 6:04 PM with the following members present:

Ward 1 Brian Triger	Ward 2 Pat Byrne	City Manager Tim Lyon
Ward 3 Raymond Melton	Ward 4 Marc Thompson	City Clerk Sara Hancock
Ward 5 Sara Bana	Ward 6 Rick Favors	Prosecuting Attorney Vicki Floyd

OPENING BUSINESS. The Invocation was given by Trey Graham. The Pledge of Allegiance was led by Carr, Fernandez, Graham, Love and Williams. Mayor Rice and City Manager Lyon made community-related announcements and comments.

CONSENT AGENDA. Favors made a motion to approve the consent agenda with the exception to pull Item 11, seconded by Bana. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

1. Discussion, consideration and possible action to approve the meeting minutes for April 20, 2026.
2. Discussion, consideration and possible action to approve the meeting minutes for April 28, 2026.
3. Discussion, consideration and possible action to approve the meeting minutes for April 30, 2026.
4. Discussion, consideration and possible action of approving supplemental budget adjustments to the following funds for FY 2025-2026: Decrease to Welcome Center, expenditures/Vehicle (74) \$70,000. Increase to Park & Recreation, expenditure/Vehicle (06) \$70,000. Increase to Animals Best

Friend, revenue/Intergovernmental (00) \$3,000; expenditures/Supplies (10) \$3000. Increases to Special Police Projects, revenues/Intergovernmental (00) \$1000; expenditures/Shop with a Cop (62) \$1000. Increases to MWC Fire Department, revenue/Intergovernmental (00) \$1000; expenditures/Supplies (64) \$1000. Decrease to 2018 Election GO Bond Proprietary, revenue/Interest Revenue (00) \$4219. Increase to 2018 Election GO Bonds, revenue/Interest Revenue (00) \$4219. Decrease to Downtown Redevelopment, expenditures/Infrastructure (92) \$15,040. Increase to Urban Renewal, expenditures/Infrastructure (93) \$15,040. Decrease to Downtown Redevelopment, Revenue (00) \$3203. Increase to Capital Improvements, expenditures (57) \$53,135. Increase to General Government Sales Tax, expenditures/Vehicles (09) \$19,247. Increase to Reimbursed Projects, expenditures/Return of Grant Proceeds (64) \$1720. Increase to Street Light Fee, expenditures/Wages (14) \$5788; expenditures/Social Security (14) \$484. Increase to Municipal Count, expenditures/Transfers Out (00) \$1500. Increase to Grants, revenues/Intergovernmental (46) \$1,811,000; expenditures/Transfers Out (46) \$1,811,000. Increases to Hotel/Motel fund, revenues/Taxes, (00) \$147,266; expenditures/Transfers Out (80)

\$147,266. Increase to Park & Recreation, revenues/Transfers In (00) \$80,996. Increase to Conv & Visitors Bureau, revenues/Transfers In (00) \$44,180. Increase to General Government Sales Tax, expenditures/Remodel (05) \$1001.

5. Discussion, consideration, and possible action regarding the health premiums for the fiscal year 2026-2027 in amounts necessary to cover the projected expenditures and for the Employee Health Plan to be actuarially sound.
6. Discussion, consideration, and possible action of passing Resolution 2026-08 nominating Ryan Rushing as a candidate to fill the Trustee-at-Large position on the Board of Trustees of the Oklahoma Municipal Retirement Fund (OkMRF) representing all OkMRF members for a five year term beginning October 1, 2026 through October 1, 2031.
7. Discussion, consideration, and possible action to appoint Jack Fry and Zach Watts to the Planning Commission to fulfill unexpired terms.
8. Discussion, consideration, and possible action of appointing Mitsy Martin-Davis (Ward 2) and Hiawatha Bouldin (Mayor's Appt.) to the Midwest City Park & Recreation Board. Martin-Davis would be serving her first full term as a board member, Bouldin would be serving his second full term as a board member.
9. Discussion, consideration and possible action of approving Resolution 2026-09 nominating Richard R. Rice, Mayor, City of Midwest City to the Oklahoma Municipal League Board of Directors.
10. Discussion, consideration and possible action of approving Resolution 2026-10 sunsetting the Sidewalk Committee of the City of Midwest City.
12. Discussion, consideration, and possible action of purchasing an excess general liability insurance policy with Metis Excess Liability for fiscal year 2026-2027 at an annual cost of \$240,000 with a self-insured retention of \$250,000. Policy limits are \$2,000,000 per occurrence, with \$5,000,000 aggregate.
13. Discussion, consideration, and possible action of renewing an excess workers' compensation policy with Midwest Employers for the City of Midwest City's Workers' Compensation Self-Insurance Plan for fiscal year 2026-2027 at an annual cost of \$186,525 with a selfinsured retention of \$750,000 per claim for Police and Fire, and \$500,000 per claim for all other employees.
14. Discussion and consideration, and possible action of renewing a property insurance policy with a \$10,000 deductible, including wind and hail for the premium rate of \$569,079 for fiscal year 2026-2027 with Oklahoma Municipal Assurance Group (OMAG)

15. Discussion, consideration, and possible action of renewing our auto liability, and auto/equipment physical damage policy with Oklahoma Municipal Assurance Group (OMAG). The auto and equipment policy has a \$1,000 deductible for comprehensive and collision coverage, including auto liability at a premium rate of \$396,394 for fiscal year 2026-2027.
16. Discussion, consideration, and possible action of approving an amendment to the agreement with Tyler Technologies, Inc. for the Enterprise Public Safety (New World) Software-as-a-Service (SaaS) platform to modify interfaces and add functionality, resulting in a net reduction of \$6,120.00.
17. Discussion, consideration, and possible action of approving a Guaranteed Maximum Price (GMP) construction management contract with AC Owen Construction Inc. (ACO), and approving the City Manager to sign, for the renovation of Midwest City Hall, in an amount not to exceed \$413,269.00.
18. Discussion, consideration, and possible action of approving an Agreement for Specific Assistance between the City of Midwest City and the Board of County Commissioners of Oklahoma County to make repairs to Sooner Road on the north and south sides of the railroad crossing north of NE 10th Street for an amount not to exceed \$133,432.69.
19. Discussion, consideration, and possible action of approving a project agreement for State Job Number 38633(04), with the Oklahoma Department of Transportation (ODOT) to receive \$960,000.00 in federal funds for the Crutch Creek Connector Trail.
20. Discussion, consideration, and possible action of approving a project agreement for State Job Number 38645(04), with the Oklahoma Department of Transportation (ODOT) to receive \$1,152,000.00 in federal funds for the Trib 4 Connector Trail and Footbridge Project.
21. Discussion, consideration, and possible action of approving a contract between the City of Midwest City and Tarkett Sports in the amount of \$172,580.00 to provide professional services necessary to rehabilitate and renovate the Joe B. Barnes Regional Park Tennis Facility to include pickleball courts and delegating to the City Manager the authority to execute the contract.
22. Discussion, consideration, and possible action of declaring Unit No. 09-03-10, a 2000 International Dump Truck, VIN # 1HTSCAAL7YH247109, from the Public Works Department as surplus and authorizing its disposal according to the rules of the grant awarded by the Oklahoma Department of Environmental Quality as part of the On-Road2 Program, which requires that the vehicles be destroyed or scrapped.
23. Discussion, consideration, and possible action of 1) declaring various computer equipment and other miscellaneous items of City property as obsolete, defective, or replaced; and 2) authorizing their disposal by public auction, sealed bid or other means as necessary.

24. Discussion, consideration and possible action of approving supplemental budget adjustments to the following funds for FY 2025-2026 increase to: 2018 Election GO Bonds, expenditure/IOB (14) \$1,300,000; revenue/Investment Interest (00) \$7860. Decrease to: 2018 GO Bonds Proprietary, revenue/Investment Interest (00) \$-7860.
25. Discussion, consideration, and possible action of approving a contract between the City of Midwest City and MaxCare Rx in the amount of \$6.95 per employee, per month and 15% of shared savings for pharmacy benefit management services necessary for employee health benefits and delegating to the City Manager the authority to execute the contract.
11. **Discussion, consideration, and possible action of approving; 1) the proposed 2026 Action Plan for the use of 2026 Community Development Block Grant (CDBG) funds; 2) authorization of the Mayor to submit the approved and/ or modified certifications to the U.S. Department of Housing and Urban Development; and 3) authorization of the Mayor and City Manager to enter into the necessary contracts/documents to implement said program.**

Craft addressed the Council. After Council and Staff discussion, Bana made a motion to approve, seconded by Favors. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

#### DISCUSSION ITEMS.

5. **Discussion, consideration, and possible action of renaming Omni Park to Española Bowen Omni Park.**

Marcus Hayes, Garland Pruitt, Española Bowen and Former State Representative Kevin Cox addressed the council. Melton made a motion to approve, naming the Park Espy Bowen Park, seconded by Bana. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

1. **Public hearing with discussion, consideration and vote on a resolution approving the City of Midwest City, Oklahoma budget for fiscal year 2026-2027 in the amount of \$137,381,762 and establishing budget amendment and budget supplement authority.**

Cromar and Glenn Glodschlager of 1409 Evergreen Cir address the council. After Council and staff had discussion, Byrne made a motion to approve Resolution 2026-11, seconded by Favors. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

At 6:34 PM Bana left her seat but remained in the Chambers; returned at 6:36 PM.

**2. Discussion and consideration of adopting, including any possible amendment, the Collective Bargaining Agreement (CBA) between the City of Midwest City and the International Association of Firefighters (IAFF) Local 2066, as negotiated to be effective from July 1, 2026, through June 30, 2028.**

Bradley addressed the council. After Council and staff discussion, Bana made a motion to approve, seconded by Favors. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**3. Discussion and consideration of adopting, including any possible amendment, the Collective Bargaining Agreement (CBA) between the City of Midwest City and the Fraternal Order of Police (FOP) Lodge 127, as negotiated to be effective from July 1, 2026, through June 30, 2028.**

Bradley and Pruitt addressed the council. After Council and Staff discussion, Favors made a motion to approve, seconded by Byrne. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**4. Discussion, consideration, and possible action regarding a 2.0 percent across the board increase to the base salary of City Employees not covered by a collective bargaining agreement, to be effective July 1, 2026.**

Bradley addressed the council. After Council and Staff discussion, Byrne made a motion to approve, seconded by Bana. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**6. (PC-2245) Public hearing, discussion, consideration, and possible action for a Special Use Permit to allow *Eating Establishments: Sit-Down, Alcoholic Beverages Permitted* in the C-3, Community Commercial District for the property located at 433 Planet Court, Midwest City, Oklahoma 73110.**

Summers addressed the council. After Council and Staff discussion, Favors made a motion to approve, seconded by Bana. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**7. (PC-2247) Public hearing, discussion, consideration, and possible action on an ordinance to redistrict from Planned Unit Development (“PUD”) to Amended Planned Unit Development (“PUD”) for the property described as all of Lots 4, 5, and 6 of Soldier Creek Industrial Park, located in Midwest City, Oklahoma County, Oklahoma.**

Summers address the council. Bana made a motion to approve Ordinance 3623, seconded by Byrne. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**8. (MP-32) Public hearing, discussion, consideration, and possible action to approve a Minor Plat for the property located at 1213 N Pine Street, Midwest City, Oklahoma.**

Summers address the council. After Council and Staff discussion, Bana made a motion to approve the action, seconded by Byrne. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**9. Public hearing with discussion, consideration, and possible action to approve a resolution declaring the structure(s) located at 918 Holly Lane; a dilapidated building(s) as defined in Midwest City Ordinance "Section" 9-3 and abatement accordingly to the Municipal Code and setting dates to demolish and remove the structure(s) from the site.**

Stroh addressed the council. After Council and Staff discussion, Bana made a motion to approve Resolution 2026-12, seconded by Melton. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**10. Public hearing with discussion, consideration, and possible action to approve a resolution declaring the structure(s) located at 2800 N Douglas Blvd; a dilapidated building(s) as defined in Midwest City Ordinance "Section" 9-3 and abatement accordingly to the Municipal Code and setting dates to demolish and remove the structure(s) from the site.**

Stroh address the council. After Council and Staff discussion, Bana made a motion to approve Resolution 2026-13, seconded by Melton. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**11. Public hearing with discussion, consideration, and possible action to approve a resolution declaring the structure(s) located at 5705 S.E. 5th St; a dilapidated building(s) as defined in Midwest City Ordinance "Section" 9-3 and abatement accordingly to the Municipal Code and setting dates to demolish and remove the structure(s) from the site.**

Stroh, Ben Higgins (son) and Mr. Higgins (father) of 6011 N Robinson, OKC addressed the council. After Council and Staff discussion, Triger made a motion to approve Resolution 2026-14, seconded by Bana. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

**12. Discussion, consideration, and possible action of approving the Amendment to the Guaranteed Maximum Price (GMP) Construction Management contract with Lippert Brothers Inc. for the MAC Phase III construction work in an amount not to exceed \$10,729,638.00.**

Sullivan addressed the council. After Council and Staff discussion, Thompson made a motion to approve, seconded by Byrne. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

At 7:14 PM Bana left and returned to the meeting.

NEW BUSINESS/PUBLIC DISCUSSION.

Tom Mickle of 9601 Harmony Dr addressed the council concerning a streetlight.

WT Farrow of 2508 Coachlight Dr. Apt C addressed the council concerning the Daily Oklahoman newspaper subscription.

FURTHER INFORMATION.

1. Review of the April 7, 2026 Planning Commission Meeting Minutes.
2. Monthly report on the City of Midwest City Employees' Health Benefits Plan by the City Manager.
3. Review of the monthly report of the Delta Hotel at the Reed Center.
4. Review of December 1, 2025 Citizens' Advisory Committee on Housing and Urban Development Meeting Minutes
5. Monthly Residential and Commercial Building Report for April 2026
6. Review of the City Manager's Report for the month of April 2026.

At 7:23 PM Bana made a motion to recess, seconded by Triger. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

At 7:32 PM Thompson made a motion to reconvene, seconded by Byrne, Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

EXECUTIVE SESSION

1. **Discussion, consideration, and possible action to 1) entering into executive session, as allowed under Title 25 Section 307 (B)(4) to discuss confidential communications between a public body and its attorney concerning a pending investigation, claim, or action of the public body with the advice of its attorney, determines that disclosure will seriously impair the ability of the public body to process the claim or conduct a pending investigation, litigation, or proceeding in the public interest regarding review of litigated settlements, concerning – Midwest Pointe Apartments; and 2) authorizing the City Manager to take action as appropriate based on discussion.**

At 7:32 PM Thompson made a motion to enter Executive Session, seconded by Byrne. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

At 7:46 PM Bana made a motion to return to Open Session, seconded by Favors. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

Bana made a motion to authorize the City Manager to proceed as discussed, seconded by Favors. Voting Aye: Triger, Byrne, Melton, Thompson, Bana, Favors, and Rice. Nay: none. Motion Carried.

ADJOURNMENT. There being no further business, Mayor Rice adjourned the meeting at 7:46 PM.

ATTEST:

\_\_\_\_\_  
RICHARD R. RICE, Mayor

\_\_\_\_\_  
SARA HANCOCK, City Clerk



**Finance Department**  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
tcromar@midwestcity.org  
Office: 405-739-1245  
www.midwestcityok.org

TO: Honorable Mayor and City Council

FROM: Tiatia Cromar, Finance Director

DATE: June 23, 2026

SUBJECT: Discussion, consideration and possible action of approving supplemental budget adjustments to the following funds for FY 2025-2026 increases/decreases: Park & Recreation, expenditures/Infrastructure (06) \$44,800. Activity Fund, revenue/Miscellaneous (78) \$3,000; expenditures/Trees (78) \$3,000. Municipal Court, revenues/Investment Interest (00) \$1,500. General Fund, revenues/Transfers In (00) \$1,500. Downtown Redevelopment, revenues/Interest Revenue (00) \$-7,142. Urban Renewal, revenues/Interest Revenue (00) \$7,142. Street Light Fee, expenditures/Utilities (14) \$57,000; expenditures/Fleet Fuel (14) \$1000. General Government Sales Tax, expenditures/Small Tools & Equip. (15) \$3,539. General Fund, expenditures/Vacation Buyback (08) \$2,400; expenditures/Separation Pay (08) \$3,780; expenditures/Salary (08) \$26,000; expenditures/Fleet Fuel (15) \$2,000; expenditures/Fleet Parts (15) \$2,000; expenditures/Fleet Labor (15) \$2,000. General Fund, expenditures/Contractual (19) \$-394. Park & Recreation, expenditures/Contractual (19) \$394. Hotel/Motel Fund, expenditures/Transfer Out Parks & Rec (87) \$120,000; expenditures/Transfer Out EDA (87) \$40,000. Park & Recreation, revenues/Transfer In (00) \$120,000. Revenues Bond Sinking, expenditures/Transfer Out (00) \$90,000. Capital Improvements, revenues/Transfer In (00) \$90,000. G.O. Debt Service, expenditures/Transfer Out (00) \$41,000. Activity Fund, revenues/Miscellaneous (78) \$4,000; expenditures/Fundraising Supplies (78) \$4,000; 2018 Election G.O. Bonds, revenues/Transfer In (00) \$41,000. Reimbursed Projects, revenues/Miscellaneous (37) \$570; expenditures/Other Expenses (37) \$570. L&H Benefits, expenditures/Health Claims (03) \$345,000.

The first supplement is needed to increase park master Plan project budget. The second and third supplements are needed to budget for the receipt of the Keep Oklahoma Beautiful Tree Board Giveaway Grant. The fourth and fifth supplements are needed to budget for revenues that were higher than projected for FY 25/26. The sixth and seventh supplements are needed to transfer revenue for the purpose of closing out Fund 194. The eight through sixteenth supplements are needed to budget for expenditures that were higher than projected for FY 25/26. The seventeenth and eighteenth supplements are needed to transfer budget from General fund to Park & Rec Fund for expenses. The nineteenth through thirtieth supplements are needed to budget for revenues and expenditures that were higher than projected for FY 25/26.

Tiatia Cromar

Tiatia Cromar  
Finance Director

## SUPPLEMENTS

**June 23, 2026**

Fund PARK & RECREATION (123)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
06	Infrastructure			44,800	
		0	0	44,800	0
<b>Explanation:</b>					
To increase project 062502 Park Master Plan by 44,800, to have overall budget of \$294,800. Funding to come from fund balance.					

Fund ACTIVITY FUND (115)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
78	MISCELLANEOUS / TREE BOARD (782602)	3,000			
78	TREES (782602)			3,000	
		3,000	0	3,000	0
<b>Explanation:</b>					
To budget for the receipt of the Keep Oklahoma Beautiful Tree Board Tree Giveaway Grant revenue and expenditures. Funding is from the Keep Oklahoma Beautiful Grant					

Fund MUNICIPAL COURT (235)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
00	INVESTMENT INTEREST	1,500			
		1,500	0	0	0
<b>Explanation:</b>					
To budget for the estimate of the remainder of FY 25/26 interest revenue. Funding from interest revenue.					

Fund GENERAL (010)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
00	TRANSFERS IN / INTEREST	1,500			
		1,500	0	0	0
<b>Explanation:</b>					
To budget for the estimate of the remainder of FY 25/26 interest revenue being transferred from Fund 235. Funding from interest revenue in Fund 235.					

## SUPPLEMENTS

**June 23, 2026**

Fund DOWNTOWN REDEVELOPMENT (194)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
00	INTEREST REVENUE		(7,142)		
		0	-7,142	0	0

**Explanation:**

To transfer interest revenue from fund 194 into fund 201, for the purpose of closing out fund 194.

Fund URBAN RENEWAL (201)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
00	INTEREST REVENUE	7,142			
		7,142	0	0	0

**Explanation:**

To transfer interest revenue from fund 194 into fund 201, for the purpose of closing out fund 194.

Fund STREET LIGHT FEE (015)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
14	UTILITIES/COMMUNICATIONS			57,000	
14	FLEET FUEL			1,000	
		0	0	58,000	0

**Explanation:**

To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.

Fund GENERAL GOVERNMENT SALES TAX (009)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
15	SMALL TOOLS & EQUIPMENT			3,539	
		0	0	3,539	0

**Explanation:**

To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.

## SUPPLEMENTS

**June 23, 2026**

Fund GENERAL (010)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
Dept Number	Department Name	Increase	Decrease	Increase	Decrease
08	VACATION BUYBACK			2,400	
08	SEPARATION PAY			3,780	
08	SALARY			26,000	
		0	0	32,180	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

Fund GENERAL (010)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
Dept Number	Department Name	Increase	Decrease	Increase	Decrease
15	FLEET FUEL			2,000	
15	FLEET PARTS			2,000	
15	FLEET LABOR			2,000	
		0	0	6,000	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

Fund GENERAL (010)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
Dept Number	Department Name	Increase	Decrease	Increase	Decrease
19	CONTRACTUAL				-394
		0	0	0	-394
<b>Explanation:</b>					
To transfer budget due to expenses being moved over from Fund 010-1910 to Fund 123-1910 at the beginning of FY 26.					

Fund PARK & RECREATION (123)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
Dept Number	Department Name	Increase	Decrease	Increase	Decrease
19	CONTRACTUAL			394	
		0	0	394	0
<b>Explanation:</b>					
To transfer budget due to expenses being moved over from Fund 010-1910 to Fund 123-1910 at the beginning of FY 26.					

## SUPPLEMENTS

**June 23, 2026**

Fund HOTEL/MOTEL FUND (225)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
87	TRANSFER OUT / PARKS & REC(123)		█	120,000	
87	TRANSFER OUT /EDA (353)			40,000	
		0	0	160,000	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

Fund PARK & RECREATION (123)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
00	TRANSFER IN - HOTEL/MOTEL TAX (225)	120,000		█	
		120,000	0	0	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

Fund REVENUE BOND SINKING (340)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
00	TRANSFER OUT / CAPITAL IMPRV (157)			█	90,000
		0	0	90,000	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

Fund CAPITAL IMPROVEMENTS (157)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
00	TRANSFER IN / REV BOND SINKING (340)	90,000		█	
		90,000	0	0	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

## SUPPLEMENTS

**June 23, 2026**

Fund G.O.DEBT SERVICE (350)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
Dept Number	Department Name	Increase	Decrease	Increase	Decrease
00	TRANSFER OUT / 2018 ELECT GO BOND (270)			41,000	
		0	0	41,000	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

Fund ACTIVITY FUND (115)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
Dept Number	Department Name	Increase	Decrease	Increase	Decrease
78	MISCELLANEOUS / TREE BOARD	4,000			
78	FUNDRAISING SUPPLIES			4,000	
		4,000	0	4,000	0
<b>Explanation:</b>					
To increase budget needed due to revenue & expenses being higher than projections for FY 25/26. Funding from the donation already received.					

Fund 2018 ELECTION GO BONDS (270)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
Dept Number	Department Name	Increase	Decrease	Increase	Decrease
00	TRANSFER IN / SINKING (350)	41,000			
		41,000	0	0	0
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					

## SUPPLEMENTS

**June 23, 2026**

Fund REIMBURSED PROJECTS (016)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
37	MISC / DONATIONS	570			
37	OTHER EXPENSES			570	
		<u>570</u>	<u>0</u>	<u>570</u>	<u>0</u>
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding is from the Donations already received.					

Fund L & H BENEFITS (240)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
03	HEALTH CLAIMS			345,000	
		<u>0</u>	<u>0</u>	<u>345,000</u>	<u>0</u>
<b>Explanation:</b>					
To increase budget needed due to expenses being higher than projections for FY 25/26. Funding to come from fund balance.					



**Finance Department**  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
tcromar@midwestcity.org  
Office: 405-739-1245  
www.midwestcityok.org

TO: Honorable Mayor and City Council

FROM: Tiatia Cromar, Finance Director

DATE: June 23, 2026

SUBJECT: Discussion, consideration and possible action of approving supplemental budget adjustments to the following funds for FY 2025-2026 increase: Park & Recreation, expenditures/Building (06) \$22,255.

The supplement is for additional funding needed for the Holiday Lights Light Barn extension.

*Tiatia Cromar*

Tiatia Cromar  
Finance Director

## SUPPLEMENTS

**June 23, 2026**

Fund PARK & RECREATION (123)		BUDGET AMENDMENT FORM Fiscal Year 2025-2026			
		Estimated Revenue		Budget Appropriations	
<u>Dept Number</u>	<u>Department Name</u>	<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
06	CAPITAL OUTLAY / BUILDING			22,255	
		<u>0</u>	<u>0</u>	<u>22,255</u>	<u>0</u>
<b>Explanation:</b>					
To cover the budget shortfall for the Holiday Lights Light Barn extension. Funding to come from fund balance.					



**Assistant City Manager, Vaughn Sullivan**

100 N. Midwest Boulevard  
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vsullivan@midwestcityok.org  
Office: 405.739.1207  
[www.midwestcityok.org](http://www.midwestcityok.org)

**MEMORANDUM**

To: Honorable Mayor and Council

From: Vaughn Sullivan, Assistant City Manager

RE: Discussion, consideration and possible action of approving the reappointment of Lindse Barks (Ward 2) and Debbie Moore (Ward 4) to the Midwest City Arts Council. (V. Sullivan – Assistant City Manager).

Date: June 23, 2026

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This request is to reappoint Lindse Barks as the Ward 2 representative and Debbie Moore as the Ward 4 representative of the Midwest City Arts Council. Both representative's bios are included with this agenda item. Ms. Barks would be appointed to a one-year term ending on June 23, 2027. Ms. Moore would be appointed to a two-year term ending on June 23, 2028.

Current members of the Arts Council are (yellow highlights are currently expired terms):

Mayor – Gail Fry, term ending 01/12/2027

Ward 1 – Alicia Petalcu, term ending 04/28/2027

Ward 2 – Lindse Barks, term ended 01/14/2025

Ward 3 – Gloria Webb, term ending 02/25/2027

Ward 4 – Debbie Moore, term ended 05/26/2026

Ward 5 – Marcus Hayes – term ending 08/18/2026

Ward 6 – Lisa Pitts – term ending 01/12/2027

Respectfully submitted,

Vaughn Sullivan,  
Assistant City Manager

# DEBORAH MOORE

405-823-6839

m.debbie@cox.net

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## PROFESSIONAL SUMMARY

Creative and highly organized communications professional with deep experience in advertising, design, production, and event coordination. Known for turning ideas into polished campaigns, aligning teams around clear goals, and delivering results across print, digital, and large-scale promotional initiatives. Eager to bring that same energy, organization, and community focus to support the City of Midwest City Arts Council for Ward 4.

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## SKILLS

Brings a rare blend of creative vision and operational discipline, with the ability to coordinate across teams, manage moving parts, and execute projects with precision from concept through completion.

- Graphic design
  - Copywriting
  - Production
  - Budget tracking
  - ROI determination
- 

## EXPERIENCE

### **T.G.&Y. Stores Co. 1975 - 1986**

Led national and local advertising projects, progressing from graphic designer and copywriter to Copy Chief. Developed product descriptions, illustrated merchandise, oversaw product photography, performed press checks, and managed advertising placements for national weekly tabloids as well as local ads supporting 920 stores nationwide.

Also selected to organize a company art show and contest, reflecting trusted leadership beyond core advertising responsibilities.

### **McLoud Public Schools 1976 – 1977**

While working parttime at T.G. & Y. Stores as an office employee assisting in payroll, I also taught high school Art and English and served as one of two Pep Club sponsors.

### **Mc Crory Stores 1986 -1992**

Recruited to help coordinate the transfer of company materials and equipment to a new location following the McCrory acquisition of T.G.&Y. Stores Co. During that transition, I was offered the role of Advertising Manager, where I helped strengthen the capabilities of the existing team and expand nationwide advertising efforts. Managed a staff of 10 to 12 across graphic design, package design, illustration, copywriting, and production, while also serving on committees appointed by upper management to create printed materials for major corporate events.

Introduced computer technology into the Advertising Department to improve workflow and modernize production capabilities.

### **Roses Stores 1992 – 1999**

Recruited by McCrory Vice President of Marketing to lead and manage the Advertising Department, strengthening graphic design across local and national monthly tabloids, package design, and illustration. Collaborated with a seven-person staff, buyers, and company executives to support marketing goals and drive sales objectives.

### **Roberson's Photography 1999 – 2000**

Supported a professional photographer with client scheduling, outreach, and business development efforts.

### **Carlisle FoodService Products 2000 - 2015**

Partnered with upper management and national and international sales teams to develop product catalogs and client-specific advertising collateral. Advanced into the role of Trade Show Coordinator, leading preparation and logistics for 10 to 12 major national trade shows and supporting 40 to 50 regional and client-specific events. Worked closely with product managers, executives, and exhibit partners to align each event with strategic goals for both new and existing products. Key responsibilities included:

- Reserving exhibit space
- Designing the exhibit based upon goals and objectives
- Prepare blueprint design for exhibit for all involved parties
- Send digital design and updates to exhibit company
- Communicate and update executives, international and national sales force of all revisions
- Reserve hotel accommodations for all parties

Prepared expenditure tracking reports for upper management and the Accounting Department.

- Provide ROI for questionable trade shows

## **EDUCATION**

### **Bachelor Degree in Fine Arts, English Minor**

#### **University of Central Oklahoma, formerly Central State University**

Recognized on both the Dean's Honor Roll and the President's Honor Roll.

Completed additional graduate-level coursework toward master's degree.

# Lindse Barks

918-206-6408

[lindsekbarks@gmail.com](mailto:lindsekbarks@gmail.com)

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## Bio Summary

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Lindse Barks is the Executive Director of the Mid-Del Public Schools Foundation, a nonprofit organization dedicated to supporting students and educators across the Mid-Del school district. She has served in this role since 2017, overseeing fundraising, donor relations, and community programming initiatives.

In addition to her nonprofit leadership, Lindse is also the owner of Lindse Barks Photography and Marquee Booth, providing events, performing arts, and portrait photography services throughout the Oklahoma City metro area. Her work has included extensive collaboration with local schools, theatres, and community organizations throughout the Midwest City area.

Lindse brings to the MWC Arts Council a professional background that spans nonprofit administration, community engagement, and the creative arts, along with a longstanding commitment to supporting arts programming in the Mid-Del community.

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Community Development Department  
100 N. Midwest Blvd, Midwest City, OK

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**TO:** Honorable Mayor and Council  
**FROM:** Matt Summers, Community Development Director  
**DATE:** June 23, 2026  
**SUBJECT:** Discussion, consideration, and possible action to appoint Joel Bryant and reappoint Cy ValaNejad to the Board of Adjustment.

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The term of Frank Young expired on December 13, 2025, and he has continued to serve as the vacancy had not been filled. The Mayor has nominated Joel Bryant to fill this position, and if confirmed, his term would expire December 13, 2028.

Cy ValaNejad's term expired May 13, 2026. The Mayor has nominated him to continue to serve on the Board of Adjustment for a term to expire on May 13, 2029.

Section 44-101 of Title 11 of Oklahoma State Statutes provides for the appointment of Board of Adjustment Members by the governing body. It requires a five (5) member board, with three (3) year terms, and allows for appointment by local ordinance. Section 6.3.2 (B) of the Zoning Regulations, states the members shall be nominated by the Mayor and confirmed by the City Council.

Attached are short bios for each of the nominated board members.

Members of the Board of Adjustment serve three-year terms and are as follows.

- Jess Huskey (current term expires: December 13, 2028)
- Charles McDade (current term expires: December 13, 2028)
- Frank Young (current term expires: December 13, 2025)
  - Serving until a replacement is confirmed
- Cy ValaNejad (current term expires: May 13, 2026)
- Tammy Cook (current term expires: June 13, 2026)

Action is at the discretion of the City Council

Matt Summers, AICP  
Community Development Director

## **Joel Bryant**

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Joel Bryant is a member of the Central Oklahoma Homebuilders Association, the Oklahoma Metropolitan Realtors Association, the Midwest City Trades' Advisory Board and the Parkland Review Committee. Joel has a BBA in Finance from Oklahoma Baptist University and is active at Eastland Hills Church. Joel is the sole owner of Les Chateaux LLC and Element Homes LLC, which have developed numerous single-family home developments and home builds in the Eastern Oklahoma County area. Joel has also partnered in developing multifamily projects in the Oklahoma County area since 2015. Joel is also a resident of Ward 6.

## **BRIEF BIO**

Cyrus(C-Rooos) Rahim ValaNejad. Also known as “Cy”

Born in Iran and moved to Midwest City. Graduated from Choctaw High School and University of Oklahoma, with a BA in Marketing. Professional career began with Feld Productions managing the advance promotion activities. Eventually the Marketing Director for Cox Media in the Tulsa market for several radio stations, special events and appearances. Eventually transitioning to support the ‘Family Business’, of over 40 years in Midwest City at Douglas Development Corporation. Currently the portfolio includes properties in Midwest City. Bowling Green Center, the NEW Pet Vet, Rose Rock, and Hamilton gated residential community. Plus, several lots along East Reno Avenue. When he returned to Midwest City, he was fortunate to have The City invite him to be a part of the comprehensive Subdivision and Zoning ordinance committee. And proudly served as a member of the Traffic and Citizen Advisory committees.



**City Manager, Tim Lyon**  
100 N. Midwest Boulevard  
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[www.midwestcityok.org](http://www.midwestcityok.org)

## MEMORANDUM

To: Mayor and Members of the City Council

From: Tim Lyon  
City Manager

RE: Discussion, consideration and possible action of appointing Rita Maxwell to the Urban Renewal Authority and re-appointing Sherry Beard and Aaron Budd to the Urban Renewal Authority. (T. Lyon – City Manager).

Date: June 23, 2026

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In accordance with Oklahoma State Statute, Title 11 of the Oklahoma Statutes, Section 38-108, when a City creates an Urban Renewal Authority, there shall be five members to the Authority, nominated by the Mayor and approved by the governing body (City Council).

All terms are for three (3) years and end on the 31<sup>st</sup> of July, with new terms starting on August 1<sup>st</sup>.

There are three (3) current members of the Urban Renewal Authority whose terms expire on July 31, 2026. The terms of all current members and their term expiration dates are below:

Wade Moore – Chair, July 31, 2027  
Aaron Budd – Vice Chair, July 31, 2026  
Sherry Beard – Secretary, July 31, 2026  
Jacob Hussian – Member, July 31, 2027  
Ted Nugent – Member, July 31, 2026

The Mayor is proposing to reappoint Mr. Budd and Ms. Beard to the Urban Renewal Authority for another three (3) year term, commencing on August 1, 2026. The Mayor is proposing nominating former Ward 3 City Council Member Rita Maxwell to a three (3) year term, commencing on August 1, 2026, to replace Ted Nugent on the Urban Renewal Authority.

Bios of all three are included with this request for approval of the nominations. The approval of the appointments are at the discretion of the City Council.

Respectfully submitted,

Tim Lyon  
City Manager

Sherry Beaird

sherry@shelbyindustrial.com

(Ward 6)

Ms. Beaird is currently Secretary for Urban Renewal Authority, a role she in which she has continually served since being first appointed to the URA in 2017. She was formerly an employee of James F Howell & Associates, P.C. for 17 years before cofounding Shelby Industrial Supply Co. over a decade ago. She attended Rose State College, has served on the Oklahoma Board of Governor's Conference for Women in Business, the Board of Governor's Conference for Small Business as well as President of the Central Oklahoma Chapter of the National Association of Women in Business. She has been a member of Midwest City Library Board, Midwest City Tree Board and the Midwest City Memorial Hospital Board of Grantors, and has volunteered in many other civic capacities as well. Ms. Beaird, a Midwest City resident for over 40 years, was honored to be the 2005 Oklahoma Journal Record Woman of the Year.

Aaron Budd

aaron@ablelegacylaw.com

(Ward 2)

Current Urban Renewal Authority Vice-Chairman Aaron Budd graduated from Putnam City North High School with honors before attending Point Loma Nazarene University, where he graduated magna cum laude with a degree in Business Administration. He then attended the University of San Diego School Of Law while he served as a member of the San Diego Law Review and with the Entrepreneurship Clinic He graduated with a concentration in Business and Corporate Law. Aaron has been involved in estate planning and business planning for over a decade, during which time he spent four years as general counsel of a national financial services firm. He is a frequent lecturer and speaker on estate planning and business related matters, and has taught continuing education programs through the Oklahoma Real Estate Commission and with the Oklahoma Banker's Association. He currently serves as Midwest City's delegate on the Regional Transit Authority (RTA) and has formerly served on Midwest City's Parks and Recreation Board.

Rita Maxwell was elected to the Midwest City Council in 2024 to represent Ward 3 and quickly established herself as a dedicated and engaged public servant. A United States Air Force veteran, former state and federal law enforcement officer, educator, and nonprofit executive, she has devoted her career to serving others. Her leadership and expertise have earned appointments by Governors Brad Henry and Mary Fallin to state boards, including the Oklahoma Human Rights Commission and the Oklahoma Board of Licensed Alcohol and Drug Counselors. As a councilmember, Maxwell, championed transparency, neighborhood investment, public safety, and support for local businesses while promoting equitable growth throughout the community. Through collaboration and inclusive leadership, she remains committed to enhancing the quality of life for all Midwest City residents.



**Public Works Administration**

8730 S.E. 15<sup>th</sup> Street,  
Midwest City, Oklahoma 73110

**Public Works Director**

[pstreets@midwestcityok.org](mailto:pstreets@midwestcityok.org)

(405) 739-1061

**Assistant Public Works Director**

[cevenson@midwestcityok.org](mailto:cevenson@midwestcityok.org)

(405) 739-1062

[www.midwestcityok.org](http://www.midwestcityok.org)

To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action to elect Ms. Kathryn Thomsen for appointment, replacing Ms. Espaniola Bowen and to elect Mr. Steve Carano to be reappointed to the Central Oklahoma Master Conservancy District Board of Directors for four (4) year terms to end on July 28, 2030. (R. Paul Streets – Public Works)

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Pursuant to State law at Title 82 of the Oklahoma Statutes, Section 541 the City Council elects the nominees for the Central Oklahoma Master Conservancy District (COMCD) Board of Directors and the Cleveland County District Judge appoints the elected nominees. Terms on the Board of Directors are for four (4) years.

Both Ms. Espaniola Bowen and Mr. Steve Carano were elected to be appointed by the City Council at its June 14, 2022, meeting, with their terms commencing on July 28, 2022, and expiring on July 28, 2026. On February 12, 2026, Espaniola Bowen submitted a letter of resignation from the Central Oklahoma Master Conservancy District Board of Directors effective on June 4, 2026.

Ms. Kathryn Thomsen has expressed her desire for election to the Board of Directors for the Central Oklahoma Master Conservancy District Board to fill this vacancy. Ms. Thomsen's Bio is included and demonstrates expertise in the issues that are addressed by the Board of Directors. Mr. Carano has expressed that he would like to be re-elected for appointment to the Board of Directors. Both Ms. Thomsen and Mr. Carano are qualified to serve on the Board of Directors, as both are freeholders as required by the state statute. Mr. Carano's bio is included.

If elected, Ms. Thomsen's and Mr. Carano's information will be forwarded to the Cleveland County District Judge for appointment in accordance with state law.

The City has three (3) members of the COMCD who are (with expiration dates):

Dave Ballew – 06/27/2028

Steve Carano – 07/28/2026

Vacant – 07/28/2026

Action is at the discretion of the Council.

Respectfully,

A handwritten signature in black ink that reads "R. Paul Streets". The signature is written in a cursive style with a large, stylized initial "R".

R. Paul Streets  
Public Works Director

## **Kathryn Thomsen Bio**

Being born into an Air Force family led Kathryn Thomsen to the Mid-Del area in elementary school. She later graduated from Carl Albert High School and then went on to earn a Bachelor of Science in Hydrology from Tarleton State University and a Masters of Water Management in Water Management and Hydrological Sciences from Texas A&M University. Kathryn currently works for the Oklahoma Department of Transportation as a Stormwater Coordinator. She returned home to Midwest City in 2021 where she now resides with her husband and three little boys.

## **Professor Steve Carano**

Professor Steve Carano is an accomplished meteorologist, educator, and science communicator with extensive experience in both higher education and broadcast meteorology. He is a tenured professor at Rose State College, an adjunct instructor for Redlands Community College, Southern Nazarene University and a part-time meteorologist for KOCO-TV (ABC) in Oklahoma City.

With 25 years of teaching experience at Rose State College, Professor Carano serves as the Earth and Environmental Science and Physical Science Coordinator or Program Chair. His passion for science education and student success has earned him numerous honors, including the Excellence in Teaching Award and the Gold Key Professor Award.

Professor Carano's career in meteorology spans several major Oklahoma television stations. He has worked as a meteorologist for KOCO-TV (ABC) and KFOR-TV (NBC) and completed an internship under legendary Oklahoma meteorologist Gary England at KWTW (CBS). Many Oklahomans recognize him from his years of television weather forecasting and severe weather coverage.

He earned a Bachelor of Arts in Broadcast Journalism from the University of Oklahoma, Bachelor of Science in Operational Meteorology and a Master of Science in Geosciences from Mississippi State University.

Throughout his career, Professor Carano has received numerous professional accolades, including an Emmy Award for coverage of May 3, 1999, tornado outbreak, the Oklahoma Association of Broadcasters Award, and the Governor's Humanitarian Award for Saving Lives during the historic tornado event. He is member of both the American Meteorological Society and the National Weather Association.

Outside the classroom and television studio, he enjoys storm chasing, hunting and fishing, OU football and tailgating, cooking traditional Italian foods, making homemade beer, wine, cheese, and sausage, and spending time with family, friends, and his church community. His diverse background also includes earning All-State honors as a trombone player in high school, performing for five years in the University of Oklahoma's Pride of Oklahoma Marching Band on scholarship. Steve is also a candidate for investiture into the Order of Malta, a lay religious order of the Catholic church, in September of 2026. An official papal knighthood of the Catholic faith, the Sovereign Military Order of Malta, continues to defend the Christian faith and protect the sick and the poor all over the world.



**Public Works Administration**

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To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of approving the FY 2026/2027 General Mutual Cooperation Agreement between the City of Midwest City and the Board of County Commissioners of Oklahoma County.

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The FY 2026/2027 General Mutual Cooperation Agreement is an annual agreement between the City of Midwest City and the Board of County Commissioners of Oklahoma County. The agreement allows Oklahoma County to work within the corporate limits of Midwest City and allows the City to request Oklahoma County to do work within the corporate limits. This work often involves road work, such as repaving Jim White Drive, which was a project that Oklahoma County completed at the City's request in 2023, at a reduced cost.

Action is at the discretion of the City Council.

Respectfully,

R. Paul Streets  
Public Works Director

Attachment

**GENERAL MUTUAL COOPERATION AGREEMENT**

**CITY OF MIDWEST CITY**

**&**

**THE BOARD OF COUNTY COMMISSIONERS OF OKLAHOMA COUNTY**

**THIS GENERAL MUTUAL COOPERATION AGREEMENT** (the "**Agreement**") is entered into effective July 1, 2026, between the **CITY OF MIDWEST CITY**, a municipal corporation organized and existing under the laws of the State of Oklahoma (the "**Municipality**"), and the **BOARD OF COUNTY COMMISSIONERS OF OKLAHOMA COUNTY**, a political subdivision organized and existing under the laws of the State of Oklahoma (the "**County**").

**RECITALS:**

**WHEREAS**, 69 O.S. § 601A, authorizes the County to use any funds which are in the county highway fund to construct and maintain as county highways those roads which best serve the most people of the county; and

**WHEREAS**, 69 O.S. § 603 provides that the County may contract for grading, draining, or hard-surfacing any street within any municipality where such street is a continuation of or a connecting link in the State or County Highway System; and

**WHEREAS**, 69 O.S. § 1903B authorizes the County to enter into an agreement with a municipality or any two or more counties or municipalities to construct, improve, repair or maintain any of the roads, streets or highways of the other parties to the contract; and

**WHEREAS**, County Resolution No. 118-08 has set out procedures for tinhorn acquisition if the requested tinhorn location(s) is/are within the corporate limits of a municipality, and a legal agreement with the municipal entity to install the tinhorn and collect the fees must be approved; and,

**WHEREAS**, the County and the Municipality find that it is to the mutual benefit of the citizens of both the Municipality and the County to enter into an agreement for mutual cooperation for maintenance, construction, and repair of certain streets within the limits of the Municipality and the responsibility of the Municipality, and the installation of tinhorns within the limits of the Municipality.

**NOW, THEREFORE**, in consideration of the mutual covenants and agreements contained herein, the parties agree as follows:

1. The County may, at their discretion, perform work to construct, improve, or repair certain roadways within the incorporated limits of the Municipality.

2. The Municipality's governing body must submit specific written requests to the County, identifying the particular streets or portions of streets, along with an appropriate title for each request for which the Municipality is seeking the County's assistance in construction, improvement, repair and maintenance. Said requests shall adequately and specifically describe the street location and the specific type of assistance needed from the County and describe the anticipated period of time that such assistance shall be needed. If the County approves the Municipality's request for assistance, said request shall be performed pursuant to the authority of this Agreement and the specific agreement. The Municipality hereby delegates to the City Manager the authority to approve and execute any specific agreement needed to execute said requests.
3. The Municipality shall, under the specific agreement, furnish to the County the funds to pay the Municipality's share of the costs of labor, engineering, equipment, and material if applicable.
4. No party to the contract shall be liable for the acts or omissions of the other party or for failure to inspect or supervise the performance of the other party.
5. The parties understand and agree that this Agreement in no way relieves the Municipality of the Municipality's primary duty to maintain its streets in a reasonably safe condition for travel by the public for the duration of the project.
6. Municipality hereby represents and warrants to County that the Municipality owns, leases, or holds beneficial easements on any and all real property on which they seek the County's assistance in construction, improvement, repair or maintenance.
7. Notwithstanding anything to the contrary herein, the Municipality acknowledges that the County's performance of work under this agreement is subject to the County's availability of highway department personnel, equipment, labor and materials, and to weather conditions or circumstances beyond the reasonable control of County.
8. This Agreement shall commence on July 1, 2026 and continue through June 30, 2027.

*APPROVED by the governing bodies of the parties on the dates hereafter set forth.*

**MUNICIPALITY**

**APPROVED** by the Municipality this \_\_\_\_\_ day of \_\_\_\_\_  
2026.

**ATTEST:**

\_\_\_\_\_  
City Clerk

By \_\_\_\_\_  
Mayor

**APPROVED** as to form and legality this \_\_\_\_\_ day of \_\_\_\_\_,  
2026.

\_\_\_\_\_  
City Attorney

COUNTY

APPROVED by the County this \_\_\_\_\_ day of \_\_\_\_\_  
2026.

BOARD OF COUNTY COMMISSIONERS  
OF OKLAHOMA COUNTY, OKLAHOMA

By \_\_\_\_\_  
Chairman

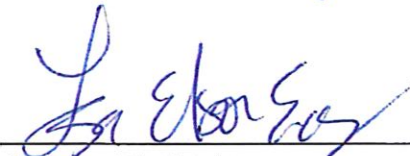
ATTEST:

By \_\_\_\_\_  
Member

\_\_\_\_\_  
County Clerk

By \_\_\_\_\_  
Member

APPROVED as to form and legality this 27 day of May, 2026.

  
\_\_\_\_\_  
Assistant District Attorney



**Public Works Administration**

8730 S.E. 15<sup>th</sup> Street,  
Midwest City, Oklahoma 73110

**Public Works Director**

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To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of making a matter of record Permit No. SL000055260300 from the Oklahoma Department of Environmental Quality for the construction of the SE 15<sup>th</sup> Street Sewer Extension project, Midwest City, Oklahoma.

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Attached is Permit No. SL000055260300 for the construction of 150 linear feet of eight (8) inch PVC sanitary sewer line and all appurtenances to serve the SE 15<sup>th</sup> Street Sewer Extension project, Midwest City, Oklahoma County, Oklahoma.

This item serves to make Permit No. SL000055260300 a matter of permanent record.

Respectfully,

R. Paul Streets  
Public Works Director

Attachment

May 22, 2026

Tim Lyon, City Manager  
City of Midwest City  
100 N. Midwest Blvd  
Midwest City, Oklahoma 73110

Re: Permit No. SL000055260300  
SE 15th Street Sewer Extension  
Facility No. S-20541

Dear Mr. Lyon:

Enclosed is Permit No. SL000055260300 for the construction of 150 linear feet of eight (8) inch PVC sanitary sewer line and all appurtenances to serve the SE 15th Street Sewer Extension, Oklahoma County, Oklahoma.

The project authorized by this permit should be constructed in accordance with the plans approved by the Department of Environmental Quality ("DEQ") on May 22, 2026. Any deviations from the approved plans and specifications affecting capacity, flow, or operation of units must be approved, in writing, by DEQ before changes are made.

Receipt of this permit should be noted in the minutes of the next regular meeting of the City of Midwest City, after which it should be made a matter of permanent record.

Approved plans and specifications are available upon request.

Respectfully,



D. Adam Divine, P.E.  
Construction Permit Section  
Water Quality Division

Enclosure

PERMIT TO CONSTRUCT

May 22, 2026

Pursuant to O.S. 27A 2-6-304, the City of Midwest City is hereby granted this Tier I Permit to construct 150 linear feet of eight (8) inch PVC sanitary sewer line and all appurtenances to serve the SE 15th Street Sewer Extension, located in SW 1/4 of Section 1, T-11-N, R-2-W, Oklahoma County, Oklahoma, in accordance with the plans approved May 22, 2026.

By acceptance of this permit, the permittee agrees to operate and maintain the facilities in accordance with the Oklahoma Administrative Code (“OAC”) 252:606 rules and to comply with Title 59, Section 1101-1116 O.S. and the rules and regulations adopted thereunder regarding the requirements for certified operators.

This permit is issued subject to the following provisions and conditions.

- 1) That the recipient of the permit is responsible for ensuring that the project receives supervision and inspection by competent and qualified personnel.
- 2) That construction of all phases of the project will be started within one year of the date of approval or the phases not under construction will be resubmitted for approval as a new project.
- 3) That no significant information necessary for a proper evaluation of the project has been omitted and no invalid information has been presented in applying for the permit.
- 4) That wherever water and sewer lines are constructed with spacing of 10 feet or less, sanitary protection will be provided in accordance with OAC 252:656-5-4(c)(3).
- 5) That tests will be conducted as necessary to ensure that the construction of the sewer lines will prevent excessive infiltration and that the leakage will not exceed 10 gallons per inch of pipe diameter per mile per day.
- 6) That the Oklahoma Department of Environmental Quality (“DEQ”) shall be kept informed of occurrences which may affect the eventual performance of the works or that will unduly delay the progress of the project.
- 7) That the permittee will take steps to assure that the connection of house services to the sewers is done in such a manner that the functioning of the sewers will not be impaired and that earth and ground water will be excluded from the sewers when the connection is completed.
- 8) That any deviations from approved plans or specifications affecting capacity, flow, or operation of units must be approved by DEQ before any such deviations are made in the construction of this project.
- 9) That any notations or changes recorded on the official set of plans and specifications in DEQ files shall be part of the plans as approved.

- 10) That the recipient of the permit is responsible for the continued operation and maintenance of these facilities in accordance with rules and regulations adopted by the Environmental Quality Board, and that DEQ will be notified in writing of any sale or transfer of ownership of these facilities.
- 11) The issuance of this permit does not relieve the responsible parties of any obligations or liabilities which the permittee may be under pursuant to prior enforcement action taken by DEQ.
- 12) That the permittee is required to inform the developer/builder that a DEQ Storm Water Construction Permit is required for a construction site that will disturb one (1) acre or more in accordance with OPDES, 27A O.S. 2-6-201 *et. seq.* For information or a copy of the GENERAL PERMIT (OKR10) FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, Notice of Intent (NOI) form, Notice of Termination (NOT) form, or guidance on preparation of a Pollution Prevention Plan, contact the Storm Water Unit of the Water Quality Division at P.O. Box 1677, Oklahoma City, OK 73101-1677 or by phone at (405) 702-8100.
- 13) That all manholes shall be constructed in accordance with the standards established in OAC 252:656-5-3.
- 14) That when it is impossible to obtain proper horizontal and vertical separation as stipulated in OAC 252:656-5-4(c)(1) and OAC 252:656-5-4(c)(2), respectively, the sewer shall be designed and constructed equal to water pipe, and shall be pressure tested using the ASTM air test procedure with no detectable leakage prior to backfilling, in accordance with OAC 252:656-5-4(c)(3).

Failure to appeal the conditions of this permit in writing within 30 days from the date of issue will constitute acceptance of the permit and all conditions and provisions.



---

Travis Herrian, P.E., Engineering Manager  
Construction Permit Section  
Water Quality Division



**Public Works Administration**

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To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of approving a maintenance and services contract with Oklahoma Mountain Bike Association, Inc., for landscape improvements and maintenance of mountain bike trails at the SCIP Recreational Trail.

---

Oklahoma Mountain Bike Association, Inc., and the City of Midwest City have reached an agreement through which Oklahoma Mountain Bike Association, Inc., will provide landscape improvements and maintenance of mountain bike trails at the SCIP Recreational Trail.

The maintenance and services contract is attached.

Approval is at the discretion of the Council.

Respectfully,

R. Paul Streets  
Public Works Director

Attachment

# MAINTENANCE AND SERVICES CONTRACT

Public Works Department

This contract is made this 23rd day of June, 2026, by and between the Oklahoma Mountain Bike Association, Inc. (hereinafter "SPONSOR") and the City of Midwest City (hereinafter "OWNER"). The parties hereto, for and in consideration of the benefits and payments hereinafter provided, do hereby covenant and agree as follows:

## I. GENERAL LANDSCAPE MAINTENANCE TERMS AND CONDITIONS

It is understood that all improvements on public property become the property of the OWNER. The OWNER and SPONSOR recognize the need and desirability of landscape improvements and maintenance of mountain bike trails at the following LOCATION: SCIP Recreational Trail (hereinafter called the "LOCATION") and are entering into this agreement to permit the SPONSOR to provide installation and maintenance of landscape improvements on publicly owned property (See Exhibit "A" for map).

**SPONSOR and OWNER acknowledge and agree to the following terms and conditions:**

- A. **MAINTENANCE--** SPONSOR agrees to purchase all materials and provide all labor for the maintenance of trails at the LOCATION at its sole cost and expense. It is agreed that SPONSOR will use volunteers to maintain mountain bike trails and improvements in accordance with the original construction plans and specifications approved by the OWNER. SPONSOR shall bear the responsibility to provide repair and maintenance of the mountain bike trails for one (1) year from the date hereof.

Any major reroute or modification of structures shall be submitted to the Public Works Director for approval. Any reroute or modification of structures shall require written approval from the Public Works Director prior to work being done by SPONSOR.

It is expressly agreed that there will be periodic inspection of the LOCATION by OWNER and SPONSOR to assure proper ongoing maintenance of the facilities. Any repairs identified through this inspection will be accomplished by OWNER or SPONSOR, depending upon whose responsibility it is under the terms of this contract, within a period of time agreed upon by SPONSOR and OWNER.

- B. **TEMPORARY CLOSURE--** OWNER has authority to temporarily close the LOCATION due to safety issues at any time. SPONSOR must also notify OWNER of any safety issue that will require temporary closure of LOCATION. SPONSOR may temporarily close the LOCATION due to adverse weather conditions such that the trail system would be damaged by users in accordance with the stipulations of section L of this agreement.
- C. **LAWS--** SPONSOR agrees to comply fully with all applicable Federal statutes and regulations, Oklahoma statutes, and OWNER ordinances, policies, permits and procedures.
- D. **INSURANCE--** Volunteers whose activities are limited to general trail maintenance, litter pickup, supplemental mowing, edging, and similar activities shall not be required to be insured by SPONSOR. OWNER acknowledges that SPONSOR has no employees, and

operates solely through volunteers. SPONSOR agrees that any change in that status shall be timely reported to OWNER and the procurement of any necessary Workers Compensation Insurance by SPONSOR. Further, SPONSOR agrees to maintain in force a policy of General Liability Insurance, naming OWNER as an additional insured, with limits at least as follows:

Property Damage Liability in an amount not less than Twenty-Five Thousand Dollars (\$25,000.00) for any claim or to any claimant who has more than one claim for loss of or damage to property arising out of a single accident or occurrence; and subject to the same limit for each claimant, One Million Dollars (\$1,000,000.00) for any number of claims for loss of or damage to property arising out of a single accident or occurrence.

Personal or Bodily Injury Liability in an amount not less than One Hundred Seventy-five Thousand Dollars (\$175,000.00) to any claimant for his claim for personal or bodily injuries, including accidental death, arising out of a single accident or occurrence; and subject to the same limit for each claimant, One Million Dollars (\$1,000,000.00) for any number of such claims arising out of a single accident or occurrence.

When "certificates of insurance" are submitted, they shall be on a form acceptable to OWNER.

- E. **RELEASE--** Volunteers of SPONSOR shall sign an appropriate Acknowledgement and General Release if engaged in bridge or trail maintenance, litter pickup, edging, supplemental mowing, or similar activities. SPONSOR agrees to maintain said Acknowledgment and General Release in its records for a period of two years from the date of signature, and to provide access thereto upon written request from the OWNER.

SPONSOR agrees if any work will be done at the LOCATION by volunteers who are not employees of and not under any contract of employment with SPONSOR or the OWNER, volunteers will read and sign a copy of either Exhibit "B" or Exhibit "C" (the one that is appropriate) "ACKNOWLEDGMENT AND GENERAL RELEASE". SPONSOR further agrees any person under 18 years of age will not do any work without the written authorization of his/her parent or legal guardian as provided for on the release form for minors (see attachments). Release forms are the responsibility of SPONSOR to distribute, collect and maintain.

- F. **INDEMNIFICATION--** SPONSOR shall indemnify, defend, keep, and hold harmless the OWNER, its agents, officials, and employees against all suits or claims of any kind whatsoever arising out of or by reason of this agreement, its execution and/or its performance occasioned by the negligent act of SPONSOR.
- G. **TERMINATION--** Should SPONSOR fail to fulfill any of the terms or conditions, the OWNER may give written notice to SPONSOR to use diligence to correct such condition or default within thirty (30) days after receipt of such notice. The OWNER may, after the lapse of such thirty (30) days notice and failure by SPONSOR to correct or cure such default or condition, terminate this agreement; provided that if SPONSOR has commenced to cure or correct such default or condition within such 30 day period, SPONSOR will have a reasonable time after such thirty (30) day period within which to comply with said cure or corrections.

The OWNER may, without cause and without prejudice to any other right or remedy, elect to terminate the contract. In such case, the OWNER will provide thirty (30) days from delivery of a written notice to the SPONSOR.

- H. **SIGNS--** SPONSOR shall not install any signs in the landscape improvement areas without prior written approval of the Public Works Director. A drawing or drawings showing details of the design, location, size, type of lettering, installation methods, and the materials for the sign shall be submitted for review.
- I. **ENVIRONMENTAL--** SPONSOR agrees not to permit or introduce any chemical substance or hazardous material in or about the LOCATION by SPONSOR, its agents, employees, or contractors, without prior written consent of the Public Works Director. SPONSOR or SPONSOR's contractor will provide a list to the Public Works Director for review and approval of any "chemical substances" or "hazardous materials" to be used on the subject LOCATION (fertilizer, pesticide, herbicide, or insecticide) prior to such materials being applied. SPONSOR agrees to provide or cause to be provided a Safety Data Sheet (SDS) for all products, substances or materials to be applied to the LOCATION. SPONSOR agrees that all chemical substances or hazardous materials shall be applied to the LOCATION by a Certified Chemical Applicator in the State of Oklahoma. Proof of current license of the applicator shall be provided with the list of substances, the MSDS sheets, insurance certificates, and other information required of contractors as set forth in this agreement.
- J. **AGREEMENT DURATION--** This agreement shall be effective upon approval by OWNER Council and may be renewed for an additional one (1) year term, if requested in writing by SPONSOR and approved by the City of Midwest City Council, provided however this agreement may be terminated by either party upon written notice to the other in accordance with this agreement. The OWNER may modify or cancel this program and this agreement, after the occurrence of a default by SPONSOR hereunder which has not been cured or corrected as provided herein, within 30 days provided that written notice has been sent to the SPONSOR's contact person at the address last provided in accordance with this Agreement.
- K. **OWNER MAINTENANCE--** Should SPONSOR not renew this agreement after one (1) year terms and relinquish maintenance of LOCATION, OWNER will maintain LOCATION as funds permit. In the event of a natural disaster or an act of God, any damages to the facilities will be resolved through a joint effort by SPONSOR and OWNER based on the availability of funds.
- L. **TRAILHEAD--** OWNER shall maintain the trailhead parking surface, bathroom facilities, and water source. SPONSOR agrees to notify OWNER of any vandalism.

OWNER will furnish all necessary refuse and garbage containers and will remove and dispose of all rubbish, refuse and garbage resulting from the SPONSOR's activity, provided that refuse is deposited in receptacles provided. SPONSOR shall be responsible for the refuse and garbage pickup and facility cleanup on the grounds and agrees to restore all which existed prior to SPONSOR's usage.

OWNER shall furnish SPONSOR with adequate sets of keys to the facilities. Only locks and keys supplied by OWNER shall be used. SPONSOR agrees to furnish OWNER with

a list of those people to whom SPONSOR has furnished any key(s) and to inform OWNER of any changes therein. OWNER reserves the right to enter the facilities at any time for purposes of inspection, repair or to ascertain compliance with this contract. SPONSOR shall furnish OWNER with keys to structures that contain only SPONSOR equipment. Said keys will be kept in the Public Works Division office in the Midwest OWNER Service Center Facility. Locks and keys that are lost during the term of this contract will be replaced at SPONSOR's expense.

- M. **HAZARDS--** Should any of the improvements become a hazard or safety risk, the OWNER reserves the right to remove the hazard as quickly as possible.

## II. **NOTICES**

Notices or other communications to the OWNER regarding this contract shall be sent by registered or certified mail, postage prepaid, addressed to:

Public Works Director  
The City of Midwest City – Public Works Department  
8730 S.E. 15<sup>th</sup> Street  
Midwest City, Oklahoma 73110

Notices or other communications to SPONSOR shall be sent by registered or certified mail, postage prepaid, to:

Oklahoma Mountain Bike Association, Inc.  
President  
PO Box 2320  
Oklahoma City, OK 73101

And by electronic notice to:

[rideomba.president@gmail.com](mailto:rideomba.president@gmail.com) , [Bubbatrailrider@yahoo.com](mailto:Bubbatrailrider@yahoo.com) , [Rstreets@midwestcityok.org](mailto:Rstreets@midwestcityok.org)

OWNER:

City of Midwest City

SPONSOR:

Oklahoma Mountain Bike Association, Inc.

By: \_\_\_\_\_

By: Stephanie Leazer

Title: \_\_\_\_\_

Title: President, Oklahoma Mountain Bike Association

Date Signed: \_\_\_\_\_

Date Signed: June 3rd, 2026

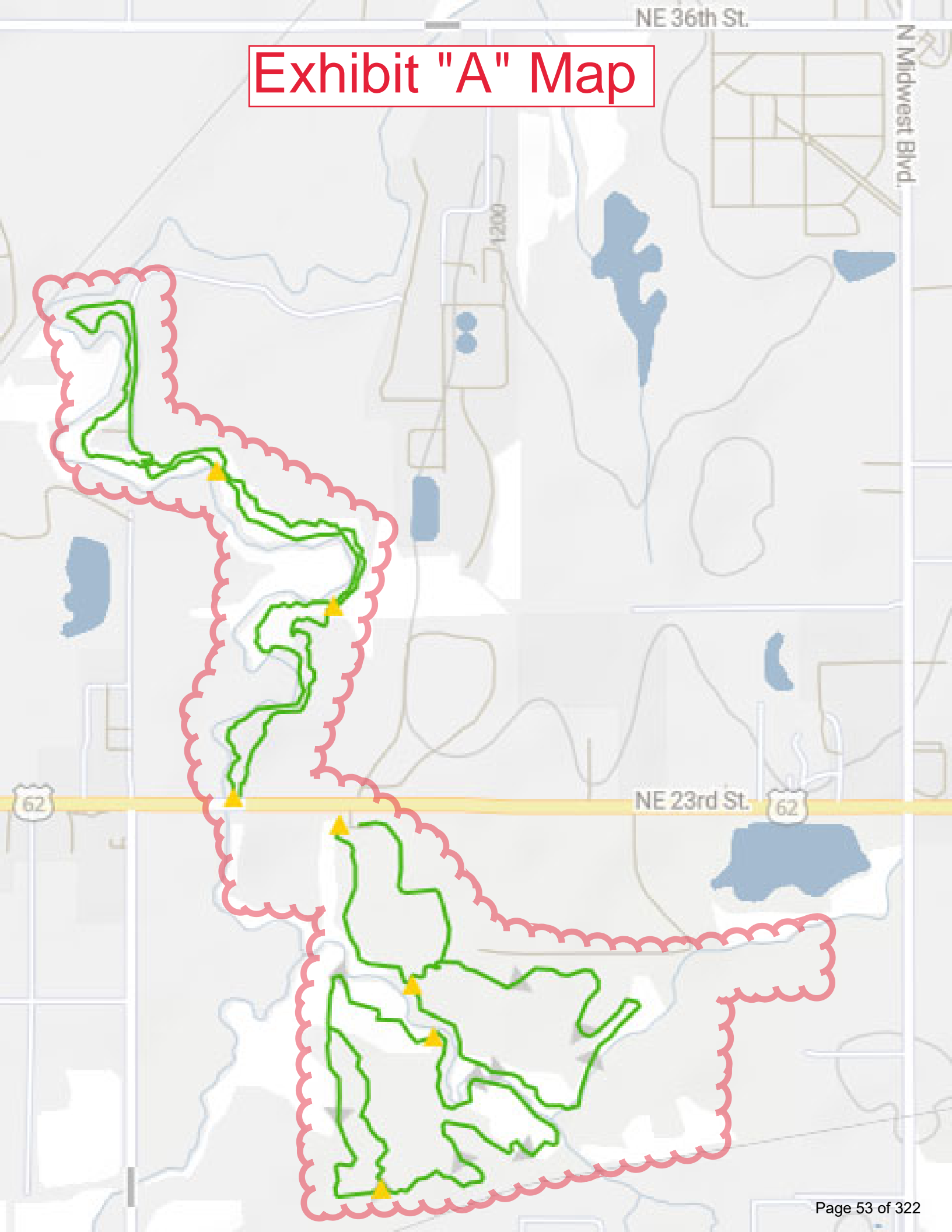
ATTEST:

\_\_\_\_\_  
CITY CLERK

APPROVED as to form and legality this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
CITY ATTORNEY

# Exhibit "A" Map



## EXHIBIT "B"-- ACKNOWLEDGMENT AND GENERAL RELEASE

I acknowledge that I am a volunteer of Oklahoma Mountain Bike Association, Inc. hereinafter referred to as "SPONSOR") and have agreed to assist in the maintenance of Mountain Bike Trails at: SCIP Recreational Trail (hereinafter referred to as "LOCATION") in Midwest City. I acknowledge that I am not an employee of and not under any employment contract with the SPONSOR or The City of Midwest City to perform work or labor at the LOCATION. I further acknowledge that I am at least 18 years of age, of sound body and mind, and have no physical or other impairments that would prevent or limit me from performing such volunteer work. I recognize that such work may involve heavy lifting and other strenuous and risky activity, the consequences of which I accept. If I am injured during such maintenance, I agree to look to my own resources and/or my own insurance to cover any medical bills or other losses that I may suffer. No worker's compensation will be available.

I hereby release SPONSOR and The City of Midwest City and their officers, agents, employees, affiliates, successors and assigns from any and all liability, claims and losses, of every kind, which I now have or ever had or which may later accrue, relating to any action or inaction taken by any of the foregoing with respect to the maintenance of the aforementioned landscape improvements and any and all activities undertaken in connection with such maintenance.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Print Name: \_\_\_\_\_

Signature : \_\_\_\_\_

NOTE: Copies of signed release forms shall be provided to the Midwest City Public Works Department upon request by the City of Midwest City.

**EXHIBIT "C" -- ACKNOWLEDGMENT AND GENERAL RELEASE**  
**(For children 18 years of age and under)**

I acknowledge that I am a volunteer of Oklahoma Mountain Bike Association, Inc., hereinafter referred to as "**SPONSOR**") and I am allowing my child(ren) to participate in volunteer activities regarding the project described in this agreement. I have agreed to allow my child or children to assist in the maintenance of Mountain Bike Trails at: SCIP Recreational Trail (hereinafter referred to as "**LOCATION**"), in Midwest City. I acknowledge that neither I nor my child(ren) are employees of, or under any employment contract with the **SPONSOR** or The City of Midwest to perform work or labor at **LOCATION**. I further acknowledge that I am at least 18 years of age, of sound body and mind, and that neither I nor my child(ren) have any physical or other impairments that would prevent or limit us from performing such volunteer work. I recognize that such work may involve heavy lifting and other strenuous and risky activity, the consequences of which I accept. If I or my child(ren) are injured during such maintenance, I agree to look to my own resources and/or my own insurance to cover any medical bills or other losses that I or my child(ren) may suffer. No worker's compensation will be available.

I hereby release SPONSOR and The City of Midwest City and their officers, agents, employees, affiliates, successors and assigns from any and all liability, claims and losses, of every kind, which I or my child(ren) now have or ever had or which may later accrue, relating to any action or inaction taken by any of the foregoing with respect to the maintenance of the aforementioned landscape improvements and any and all activities undertaken in connection with such maintenance.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Print Name (Parent or Guardian): \_\_\_\_\_

Signature (Parent or Guardian): \_\_\_\_\_

Name of Child: \_\_\_\_\_ Age: \_\_\_\_\_  
\_\_\_\_\_

Name of Child: \_\_\_\_\_ Age: \_\_\_\_\_  
\_\_\_\_\_

NOTE: Copies of signed release forms shall be provided to the Midwest City Public Works Department upon request by the City of Midwest City.



**Public Works Administration**

8730 S.E. 15<sup>th</sup> Street,  
Midwest City, Oklahoma 73110

**Public Works Director**

[pstreets@midwestcityok.org](mailto:pstreets@midwestcityok.org)

(405) 739-1061

**Assistant Public Works Director**

[cevenson@midwestcityok.org](mailto:cevenson@midwestcityok.org)

(405) 739-1062

[www.midwestcityok.org](http://www.midwestcityok.org)

To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of accepting a Grant of Temporary Easement from the Midwest City Hospital Authority across property located at 8920 SE 29<sup>th</sup> Street within the Northeast Corner of the Northeast Quarter (NE/4) of Section Fourteen (14), Township Eleven (11) North, Range Two (2) West of the Indian Meridian, Oklahoma County, Oklahoma within the municipal corporate boundaries of Midwest City.

---

The City has entered into an agreement, generally known as State Job Number 38082(04)(05)(06)(07), with the Oklahoma Department of Transportation (ODOT) for a federal aid project to construct improvements to the intersection at SE 29<sup>th</sup> Street and Douglas Boulevard. To do this, additional easements are needed to construct these improvements. One such permanent easement is located at 8920 SE 29<sup>th</sup> Street within the Northeast Corner of the Northeast Quarter (NE/4) of Section Fourteen (14), Township Eleven (11) North, Range Two (2) West of the Indian Meridian, Oklahoma County, Oklahoma. The property is owned by the Midwest City Hospital Authority.

Once the City accepts this easement, it will enable the City to construct the needed intersection improvements.

Action is at the discretion of the Council.

Respectfully,

R. Paul Streets  
Public Works Director

**Project: 38082(05) S. Douglas and SE 29<sup>th</sup>  
Address: 8920 SE 29<sup>th</sup> Street**

GRANT OF TEMPORARY EASEMENT

KNOW ALL BY THESE PRESENTS:

That Midwest City Memorial Hospital Authority, a Public Trust, (grantor) for good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto the City of Midwest City, a municipal corporation, (grantee) a temporary public easement across, over and under the following described lots, tracts or parcels of land situated in Oklahoma County, State of Oklahoma, to-wit:

**See Attachment "A"**

The consideration herein covers all kinds and character of damages or injury that may be sustained directly or indirectly to any lands owned by the Grantor by reason of the construction and maintenance of such improvements.

Grantor hereby covenants and warrants that at the time of the delivery of this easement that the above-described real estate and premises are free of all liens and claims whatsoever, except -none- and that they will, so long as this easement is in full force and effect, defend the same unto the City of Midwest City against all claiming to the contrary.

---

---

WITNESS the hands of the parties this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

ATTEST \_\_\_\_\_, City Clerk

\_\_\_\_\_, Mayor

STATE OF OKLAHOMA

) ss.

COUNTY OF OKLAHOMA

Before me, the undersigned Notary Public in and for the state and county aforesaid, on this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_ personally appeared \_\_\_\_\_ of City of Midwest City to me known to be the identical person(s) who subscribed the name of the maker thereof to the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed for the purposes therein set forth.

WITNESS, my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

My Commission expires:

NOTARY PUBLIC:

\_\_\_\_\_

Approved by City Attorney \_\_\_\_\_ Date:

Approved by Chairman \_\_\_\_\_ Date:

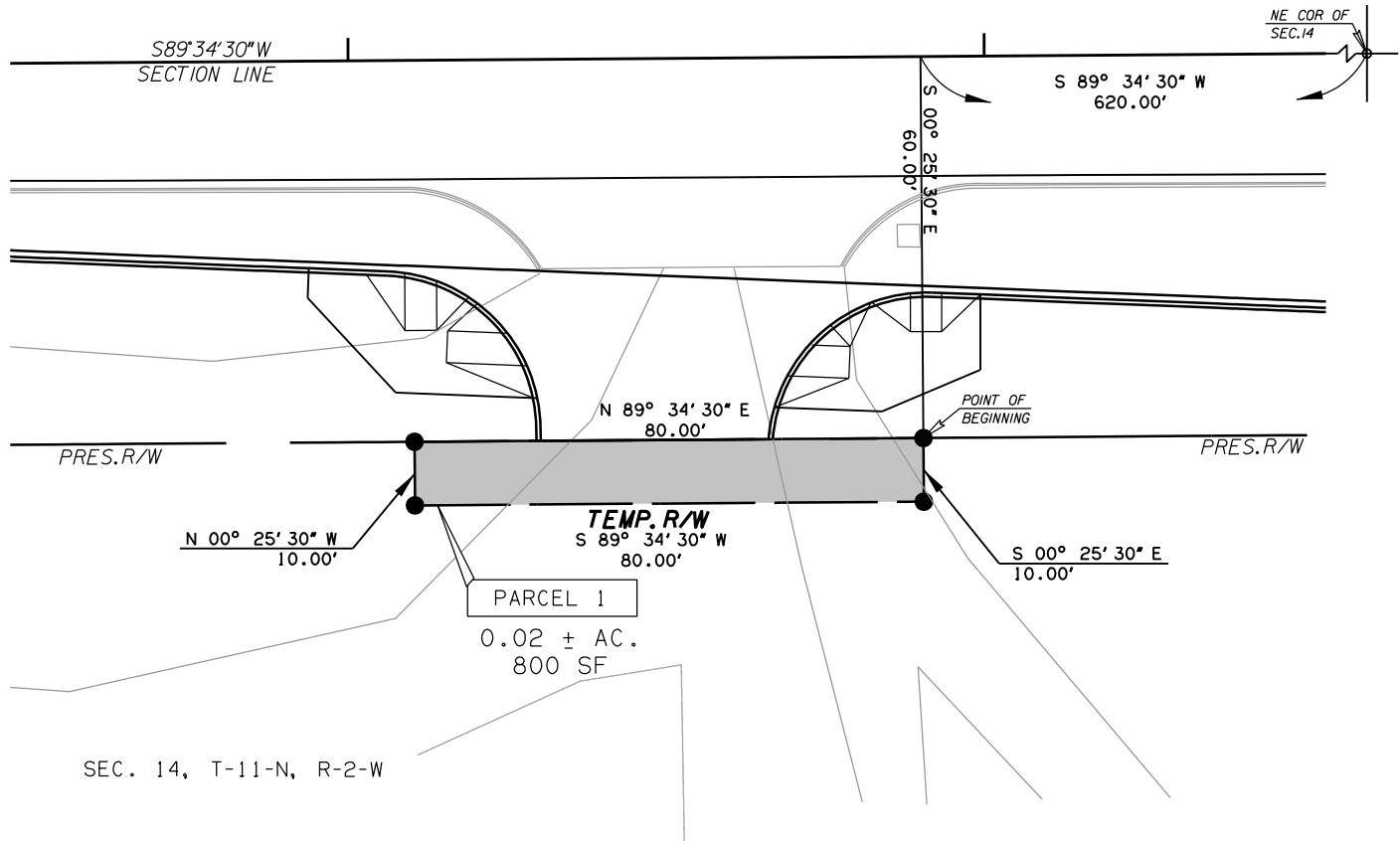
**RETURN TO:** City Clerk 100 N Midwest Boulevard Midwest City OK 73110

Midwest Intersection SE 29 and Douglas /JP # 38082(05) / City of Midwest City / Parcel No: 1 / 100 N Midwest Blvd

# PARCEL 1

SEC. 11, T-11-N, R-2-W

CL SE 29th STREET



**LEGAL DESCRIPTION:**

A STRIP, PIECE OR PARCEL OF LAND LYING IN PART OF THE NE1/4 OF SECTION 14, T11N, R2W IM IN OKLAHOMA COUNTY, OKLAHOMA. SAID PARCEL OF LAND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT ON THE PRESENT SOUTH RIGHT-OF-WAY LINE OF SE 29<sup>th</sup> STREET A DISTANCE OF 620.00 FEET  $S 89^{\circ} 34' 30'' W$  OF AND 60.00 FEET  $S 00^{\circ} 25' 30'' E$  OF THE NE CORNER OF SAID NE1/4, THENCE  $S 00^{\circ} 25' 30'' E$  A DISTANCE OF 10.00 FEET, THENCE  $S 89^{\circ} 34' 30'' W$  A DISTANCE OF 80.00 FEET, THENCE  $N 00^{\circ} 25' 30'' W$  A DISTANCE OF 10.00 FEET TO A POINT ON THE PRESENT SOUTH RIGHT-OF-WAY LINE OF SE 29<sup>th</sup> STREET, THENCE  $N 89^{\circ} 34' 30'' E$  ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING.

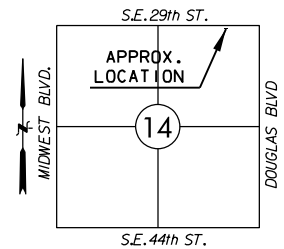
CONTAINING 0.02 ACRES (800 SQ. FT.) MORE OR LESS.


ALL BEARINGS CONTAINED IN THIS DESCRIPTION ARE BASED ON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM AND ARE NOT ASTRONOMICAL BEARINGS.

THIS DESCRIPTION WAS PREPARED BY:

JUSTIN L. TALCOTT, P.L.S. #1646

This sketch is not a boundary survey. It is intended to show the configuration of proposed easements. It should not be used to locate property lines and does not meet the Minimum Standards for Property Boundary Surveys.



PREPARED AND SUBMITTED BY:  POE & ASSOCIATES INC. Oklahoma City, Oklahoma CA NO. 541	DATE: 12/03/2025
	S.E. 29th ST. AT S. DOUGLASS BLVD.
	TEMPORARY EASEMENT
<b>ATTACHMENT "A"</b>	



**Public Works Administration**

8730 S.E. 15<sup>th</sup> Street,  
Midwest City, Oklahoma 73110

**Public Works Director**

[pstreets@midwestcityok.org](mailto:pstreets@midwestcityok.org)

(405) 739-1061

**Assistant Public Works Director**

[cevenson@midwestcityok.org](mailto:cevenson@midwestcityok.org)

(405) 739-1062

[www.midwestcityok.org](http://www.midwestcityok.org)

To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of accepting a Grant of Permanent Easement from the Midwest City Hospital Authority across property located at 8920 SE 29th Street within the Northeast Corner of the Northeast Quarter (NE/4) of Section Fourteen (14), Township Eleven (11) North, Range Two (2) West of the Indian Meridian, Oklahoma County, Oklahoma within the municipal corporate boundaries of Midwest City.

---

The City has entered into an agreement, generally known as State Job Number 38082(04)(05)(06)(07), with the Oklahoma Department of Transportation (ODOT) for a federal aid project to construct improvements to the intersection at SE 29<sup>th</sup> Street and Douglas Boulevard. To do this, additional easements are needed to construct these improvements. One such permanent easement is located at 8920 SE 29th Street within the Northeast Corner of the Northeast Quarter (NE/4) of Section Fourteen (14), Township Eleven (11) North, Range Two (2) West of the Indian Meridian, Oklahoma County, Oklahoma. The property is owned by the Midwest City Hospital Authority.

Once the City accepts this easement, it can be filed in the land records which will enable the City to construct the needed intersection improvements.

Action is at the discretion of the Council.

Respectfully,

R. Paul Streets  
Public Works Director

RETURN TO CITY CLERK  
100 N. Midwest Boulevard  
Midwest City, OK 73110

**Project: 38082(05) S. Douglas and SE 29th**  
**Address: 8920 SE 29<sup>th</sup> St.**

GRANT OF PERMANENT EASEMENT

KNOW ALL BY THESE PRESENTS:

That **Midwest City Memorial Hospital Authority, a Public Trust, (grantor)**, of **Oklahoma** County, **Oklahoma**, for good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto the City of Midwest City, a municipal corporation, a permanent easement across, over and under the following described lots, tracts or parcels of land situated in Oklahoma County, State of Oklahoma, to-wit:

**See Attachment "A"**

This easement is granted for the purpose of enabling the City of Midwest City, its officers, agents, contractors and employees to go upon, layout, construct, change, and/or build improvement(s) upon the above-described lots, parcels or tracts of land and includes the permanent right of ingress and egress for employees, tools and equipment of the City of Midwest City, its officers, agents, contractors and employees.

The consideration herein covers any and all kinds and character of damages or injury that may be sustained directly or indirectly to any lands owned by the Grantor by reason of the construction and maintenance of such improvements.

Grantor hereby covenants and warrants that at the time of the delivery of this easement that the above-described real estate and premises are free of all liens and claims whatsoever, except **none** and that they will, so long as this easement is in full force and effect, defend the same unto the City of Midwest City against all claiming to the contrary.

WITNESS the hands of the parties this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
\_\_\_\_\_

STATE OF \_\_\_\_\_ )  
 )ss.  
COUNTY OF \_\_\_\_\_ )

Before me, the undersigned Notary Public in and for the state and county aforesaid, on this day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_, to me known to be the identical person(s) who executed the within and foregoing instrument and acknowledged to me that \_\_\_\_\_ executed the same as a free and voluntary act and deed for the uses and purposes herein set forth.

WITNESS, my hand and seal this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

My Commission Number: \_\_\_\_\_  
NOTARY PUBLIC

My Commission expires: \_\_\_\_\_

Accepted by the CITY OF MIDWEST CITY, OKLAHOMA this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_.

CITY OF MIDWEST CITY, OKLAHOMA

\_\_\_\_\_  
Mayor

Attest: (seal)

\_\_\_\_\_  
Sara Hancock, City Clerk

Approved as to form and legality this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

\_\_\_\_\_  
Don Maisch, City Attorney

# DONATION CERTIFICATE

DATE: \_\_\_\_\_

Job Piece No.: 38082(05)

Project No.: STP-255N(639)AG

County: Oklahoma

Parcel No.: 2

I/We the undersigned, hereby certify that I/we have received the Property Rights Brochure, have been fully informed of my/our right to receive just compensation for the right-of-way upon my/our property and waive the appraisal process and/or offer.

I/We have elected to donate the right-of-way to: The City of Midwest City  
for project Intersection improvement 29th St and Douglas

## LEGAL DESCRIPTION:

**SEE ATTACHMENT "A"**

Address: \_\_\_\_\_

## SIGNATURES

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 2026

BY: \_\_\_\_\_

BY: \_\_\_\_\_

## WITNESS:

Witness: \_\_\_\_\_

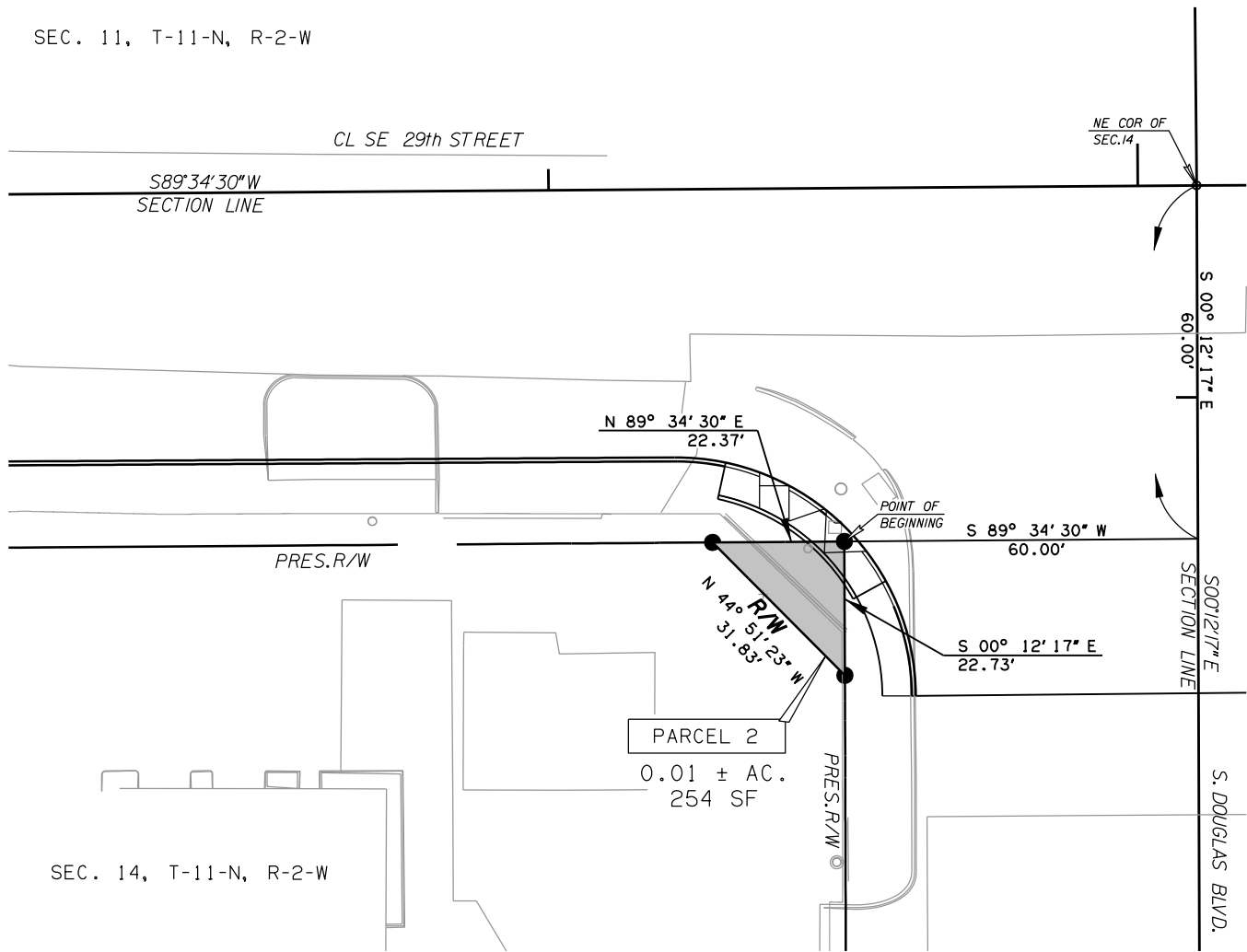
Date \_\_\_\_\_

<b>I decline to donate.</b>	
<b>BY:</b>	_____
<b>BY:</b>	_____
Date	_____

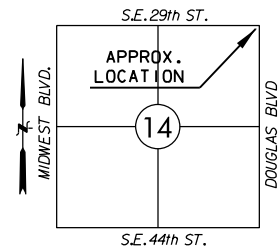


# PARCEL 2

SEC. 11, T-11-N, R-2-W



SEC. 14, T-11-N, R-2-W



**LEGAL DESCRIPTION:**

A STRIP, PIECE OR PARCEL OF LAND LYING IN PART OF THE NE1/4 OF SECTION 14, T11N, R2W IM IN OKLAHOMA COUNTY, OKLAHOMA. SAID PARCEL OF LAND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT WHERE THE PRESENT SOUTH RIGHT-OF-WAY LINE OF SE 29 STREET INTERSECTS THE PRESENT WEST RIGHT-OF-WAY LINE OF S. DOUGLAS BOULEVARD A DISTANCE OF 60.00 FEET S 89°34'30"W OF AND 60.00 FEET S 00°12'17"E OF THE NE CORNER OF SAID NE1/4, THENCE S 00°12'17" E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 22.73 FEET, THENCE N 44°51'23"W A DISTANCE OF 31.83 FEET TO A POINT ON THE PRESENT SOUTH RIGHT-OF-WAY LINE OF SE 29<sup>TH</sup> STREET, THENCE N 89°34'30" E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 22.37 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.01 ACRES (254 SQ. FT.) MORE OR LESS.

ALL BEARINGS CONTAINED IN THIS DESCRIPTION ARE BASED ON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM AND ARE NOT ASTRONOMICAL BEARINGS.

THIS DESCRIPTION WAS PREPARED BY:

JUSTIN L. TALCOTT, P.L.S. #1646

This sketch is not a boundary survey. It is intended to show the configuration of proposed easements. It should not be used to locate property lines and does not meet the Minimum Standards for Property Boundary Surveys.

PREPARED AND SUBMITTED BY: POE & ASSOCIATES INC. Oklahoma City, Oklahoma CA NO. 541	DATE: 12/03/2025
	S.E. 29th ST. AT S. DOUGLASS BLVD.
	PERMANENT R/W
<b>ATTACHMENT "A"</b>	



**Public Works Administration**  
**R. Paul Streets, Director**  
[rstreets@midwestcityok.org](mailto:rstreets@midwestcityok.org)  
**Carrie J. Evenson, Assistant Director**  
[cevenson@midwestcityok.org](mailto:cevenson@midwestcityok.org)  
8730 S.E. 15<sup>th</sup> Street,  
Midwest City, Oklahoma 73110  
O: 405-739-1060 /Fax: 405-739-1090

To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of approving a contract between the City of Midwest City and C4L in the amount of \$348,935.00 to provide professional services necessary to design and construct an extension to the City's Holiday Lights storage barn and delegating to the City Manager the authority to execute the contract.

---

The Holiday Lights storage barn is located at Joe B. Barnes Regional Park. The existing structure is a metal building that is no longer able to house all of the new and existing displays and accessories needed for the Holiday Lights Spectacular. To address current and future storage needs, the City decided to seek proposals from qualified firms to provide the professional services necessary to design and construct an extension to the existing metal storage building.

On March 24, 2026, the City issued a Request for Proposals. Proposals were received from one (1) qualified firm. C4L was interviewed on April 21, 2026, and was deemed qualified to complete the work required for this project. A contract in the amount of \$348,935.00 is currently under negotiation.

Funding for this project is available in Account No. 123-0610-452.40-07, Project No. 062506. The City Council hereby delegates to the City Manager the authority to execute the contract.

Action is at the discretion of the City Council.

Respectfully,

R. Paul Streets  
Public Works Director



**Public Works Administration**

8730 S.E. 15<sup>th</sup> Street,  
Midwest City, Oklahoma 73110

**Public Works Director**

[pstreets@midwestcityok.org](mailto:pstreets@midwestcityok.org)

(405) 739-1061

**Assistant Public Works Director**

[cevenson@midwestcityok.org](mailto:cevenson@midwestcityok.org)

(405) 739-1062

[www.midwestcityok.org](http://www.midwestcityok.org)

To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: May 26, 2026

Subject: Discussion, consideration, and possible action of approving Supplemental and Modification Agreement No. 1 for State Job Number 38082(04) (05)(06)(07), with the Oklahoma Department of Transportation (ODOT) to revise the scope of the original Project Maintenance, Financing, and Right-Of-Way Agreement.

---

On November 14, 2023, City Council approved a project agreement for State Job Number 38082(04)(05)(06)(07) with the Oklahoma Department of Transportation (ODOT) for a future federal project to reconstruct the intersection of SE 29<sup>th</sup> Street and Douglas Boulevard. Design has now been completed on the project, and the total construction cost has been adjusted based on an updated estimate, which resulted in a reduction in the amount of ACOG-STBG funding and local match needed for the project. Supplemental and Modification Agreement No. 1 moves unobligated Congress Delegation funding from Right-of-Way Acquisition and Utility Relocation to Construction and reduces the local match from \$1,475,500.00 to \$1,020,341.00.

Approval is at the discretion of the Council.

Respectfully,

R. Paul Streets  
Public Works Director

Attachment

**STATE OF OKLAHOMA  
DEPARTMENT OF TRANSPORTATION  
SUPPLEMENTAL AND MODIFICATION AGREEMENT NO. 1  
PROJECT MAINTENANCE, FINANCING, AND RIGHT-OF-WAY AGREEMENT**

MWC: RECONSTRUCT INTERSECTION OF SE 29TH ST & DOUGLAS BLVD NEW  
CONCRETE SURFACE, SIGNALS AND SIDEWALK

**Project No.: STP-255N(635)AG**

**State Job No.: 38082(04)(05)(06)(07)**

This Supplemental and Modification Agreement, made the day and year last written below, by and between the City of Midwest City, hereinafter referred to as the Sponsor, and the Department of Transportation of the State of Oklahoma, hereinafter referred to as the Department, for the following intents and purposes and subject to the following terms and conditions, to wit:

**WITNESSETH**

**WHEREAS**, It is deemed necessary by the Department and Sponsor, and in order to revise the scope of the original Project Maintenance, Financing, And Right-Of-Way Agreement; and,

**WHEREAS**, Under the terms of Section 11 of the original Project Maintenance, Financing, And Right-Of-Way Agreement, said revisions must be reduced to a written supplemental agreement and executed by the Department and Sponsor.

**NOW, THEREFORE:** the Department and Sponsor, in consideration of the mutual covenants and stipulations as set forth herein, do mutually promise and agree as follows:

- A. The following sections are hereby modified from the original Project Maintenance, Financing, And Right-Of-Way Agreement;

## SECTION 4: FUNDING SUMMARY

4.1 The Department and the Sponsor agree that the project will be financed at a not-to-exceed, total estimated ACOG-STBG cost of **\$1,681,366** as described below:

Old Funding Table – NOTE Total Estimated Cost corrected in Funding Table

FUNDING SOURCE =>			FFY23 Congress Delegation		ACOG-STBG		Sponsor	
STATE JOB PIECE NO.	DESCRIPTION	TOTAL ESTIMATED COST	SHARE (%)	AMOUNT	SHARE (%)	AMOUNT	SHARE (%)	AMOUNT
38082(05)	Design -	\$497,707	80%	\$398,166			20%	\$99,541
38082(06)	Right-of-Way	\$867,605	80%	\$694,084			20%	\$173,521
38082(07)	Utilities -	\$200,000	80%	\$160,000			20%	\$40,000
38082(04)	Construction (With 6% Inspection)	\$5,812,188	80 up to a limit of	\$1,147,750	80 up to a limit of	\$3,502,000	Remainder	\$1,162,438
<b>Total</b>		<b>\$7,377,500</b>	<b>Total=&gt;</b>	<b>\$2,400,000</b>	<b>Total=&gt;</b>	<b>\$3,502,000</b>	<b>Total=&gt;</b>	<b>\$1,475,500</b>

New Funding Table

FUNDING SOURCE =>			FFY23 Congress Delegation		ACOG-STBG		Sponsor	
STATE JOB PIECE NO.	DESCRIPTION	TOTAL ESTIMATED COST	SHARE (%)	AMOUNT	SHARE (%)	AMOUNT	SHARE (%)	AMOUNT
38082(05)	Design -	\$497,707	80%	\$398,166			20%	\$99,541
38082(06)	Right-of-Way	\$0	80%	\$0			20%	\$0
38082(07)	Utilities -	\$0	80%	\$0			20%	\$0
38082(04)	Construction (With 6% Inspection)	\$4,604,000	80 up to a limit of	\$2,001,834	80 up to a limit of	\$1,681,366	Remainder	\$920,800
<b>Total</b>		<b>\$5,101,707</b>	<b>Total=&gt;</b>	<b>\$2,400,000</b>	<b>Total=&gt;</b>	<b>\$1,681,366</b>	<b>Total=&gt;</b>	<b>\$1,020,341</b>

\*\*\*This supplement is to move 38082(06) Right of Way and 38082(07) Utilities FFY23 Congress Delegation funding to 38082(04) Construction FFY23 Congress Delegation funding due to the Sponsor paying for the right of way and utility costs. The total construction cost has been adjusted based on an updated estimated reducing the amount of ACOG-STBG funding.\*\*\*

4.2 Furthermore, the Department and the Sponsor agree that actual FFY23 Congress Delegation costs incurred by project phases (**JP 38082(04,05,06,07)**) may exceed initial estimates. Costs between these project phases will be administratively adjusted based on actual cost of each phase, within the total cost of this agreement, without formal supplemental agreement, in so far as the total project agreement is not exceeded.

4.3 It is understood by the SPONSOR and the Department that the funding participation stipulated herein may be altered due to bid prices, actual construction supervision costs and non-participating costs incurred during construction. The SPONSOR will be responsible for payment of any estimated local funding prior to advertising the project for bid. Upon final acceptance of this project, the total project cost will be determined, and the final amount of local funds (if any) will be determined by the Department's Comptroller per the terms of this agreement. A refund will then be made by the Department to the SPONSOR or additional funding will be requested. The SPONSOR agrees to make arrangements for payment of any Department invoice within 45 days of receipt.

B. That the original Project Maintenance, Financing, And Right-Of-Way Agreement is hereby modified as above described, said agreement in all other respects shall remain unchanged and in full force and effect.

**IN WITNESS WHEREOF**, the Director of the Department of Transportation, pursuant to authority vested in him by the State Transportation Commission, has hereunto subscribed his name as Director of the Department of Transportation and the Sponsor has executed same pursuant to authority prescribed by law for the Sponsor.

The Sponsor, City of Midwest City on this \_\_\_\_\_ of \_\_\_\_\_, 2025, and the Department on \_\_\_\_\_.

THE CITY OF MIDWEST CITY

APPROVED AS TO FORM  
AND LEGALITY

By \_\_\_\_\_  
City Attorney

By \_\_\_\_\_  
Mayor

By \_\_\_\_\_  
Attest: City Clerk

(SEAL): Approved – THE CITY  
OF MIDWEST CITY

STATE OF OKLAHOMA  
DEPARTMENT OF TRANSPORTATION

Recommended for Approval

\_\_\_\_\_  
Local Government                      DATE  
Division

\_\_\_\_\_  
Director of Project Delivery                      DATE

APPROVED AS TO FORM  
AND LEGALITY

APPROVED

\_\_\_\_\_  
General Counsel                      DATE

\_\_\_\_\_  
Deputy Director                      DATE



**Human Resources**  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
office 405.739.1235

**Memorandum**

**TO:** Honorable Mayor and Council

**FROM:** Troy Bradley, Human Resources Director

**DATE:** June 23, 2026

**RE:** Discussion, consideration, and possible action regarding the Administrative Services Agreement with Health Care Services Corporation to provide administrative services for the Employee Health Benefits Plan for the FY 2026-2027 for a net cost of \$69.82 per employee per month.

---

Attached is a copy of the agreement with Health Care Service Corporation, of which Blue Cross/Blue Shield of Oklahoma is a division, to provide administrative services for the Employee Health Benefits Plan for FY 2026-2027. The rates in this agreement reflect a small increase of 3.1% in administrative fees compared to last year, including a \$2.00 PEPM fee to carve out stop loss coverage.

Staff recommends approval.

Troy Bradley, Human Resources Director

# Benefit Program Application ("ASO BPA")

## Applicable to Administrative Services Only (ASO) Group Accounts

administered by Blue Cross and Blue Shield of Oklahoma, a Division of Health Care Service Corporation,  
a Mutual Legal Reserve Company, an Independent Licensee of the Blue Cross and Blue Shield Association, hereinafter referred to as "Claim Administrator" or "BCBSOK"

Group Status: Renewing ASO Account

Employer Account Number (6-digits): 621602

Group Number(s): 621603

Section Number(s): See Account Structure

Legal Employer Name: City of Midwest City

(Specify the Employer or the employee trust applying for coverage. Names of subsidiary or affiliated companies to be covered must be named below. AN EMPLOYEE BENEFIT PLAN MAY NOT BE NAMED)

**ERISA Regulated Group Health Plan\***:  Yes  No

Is your ERISA Plan Year\* a period of 12 months beginning on the Effective Date of Coverage specified below?  Yes

If not, please specify your ERISA Plan Year\*: Beginning Date \_\_\_/\_\_\_/\_\_\_ End Date \_\_\_/\_\_\_/\_\_\_ (month/day/year)

ERISA Plan Administrator\*:

Plan Administrator's Address:

If you maintain that ERISA is not applicable to your group health plan, give legal reason for exemption:

Select from Drop Down ; if applicable, specify other:

Is your Non-ERISA Plan Year\* a period of 12 months beginning on the Anniversary Date specified below?  Yes

If not, please specify your Non-ERISA Plan Year\*: Beginning Date \_\_\_/\_\_\_/\_\_\_ End Date \_\_\_/\_\_\_/\_\_\_ (month/day/year)

**For more information regarding ERISA, contact your Legal Advisor.**

\*All as defined by ERISA and/or other applicable law/regulations

**Effective Date of Coverage: (Month/day/Year)**

07 / 01 / 2026

**Anniversary Date: (Month/Day/Year)**

07 / 01 / 2027

**Retiree-Only Plan(s) Identification:**

For more information regarding Retiree-only plans, contact your Legal Advisor.

Do you have one or more Retiree-only plan(s)?  Yes  No

If yes, please provide Benefit Agreement number, or group and section numbers of the Retiree-only plan(s):

### Account Information

NO CHANGES  SEE ADDITIONAL PROVISIONS

Standard Industry Code (SIC): 9111

Employer Identification Number (EIN): 73-6027530

Address: 100 N. Midwest Blvd

City: Midwest City

State: OK

ZIP: 73110-4319

Administrative Contact: Troy Bradley

Title: Human Resource Director

Email Address: tbradley@midwestcityok.org

Phone Number: 405-739-1235

Fax Number: 405-739-1359

Wholly Owned Subsidiaries to be covered:

Affiliated Companies to be covered:

Employer Identification Number (EIN):

(Affiliated Companies must be required or permitted to be aggregated per IRS Guidelines. Employer hereby confirms that Employer, Subsidiaries and Affiliates are treated as a single employer under Internal Revenue Code Section 414(b), or (c), or (m) or (o), or under applicable law.)

#### Proprietary and Confidential Information of Claim Administrator

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Blue Access for Employers<sup>SM</sup> ("BAE<sup>SM</sup>") Contact: Troy Bradley

(The BAE Contact is the Employee authorized by the Employer to access and maintain the Employer's account in BAE.)

Email Address: tbradley@midwestcityok.org

Phone Number: 405-739-1235

Fax Number: 405-739-1359

**Producer of Record Information**

**NO CHANGES**

**SEE ADDITIONAL PROVISION**

Effective: 06/01/2020

If applicable, the below-named producer(s) or agency(ies) is/are recognized as the Employer's Producer of Record (POR) to act as a representative in negotiations with and to receive commissions from BCBSOK, or Claim Administrator's corporate subsidiaries, as applicable, for procuring Claim Administrator's claims administration services for Employer's employee benefit program(s). This statement rescinds any and all previous POR appointments for the Employer. The POR is authorized to perform membership transactions on behalf of the Employer. This appointment will remain in effect until withdrawn or superseded in writing by Employer.

**Producer/Consultant Compensation:**

The Employer acknowledges that if its POR acts on its behalf for purposes of purchasing services in connection with the Employer's Plan under the Administrative Services Agreement to which this ASO BPA is attached, the Claim Administrator may pay the Employer's POR a commission and/or other compensation in connection with such services under the Administrative Services Agreement. If the Employer desires additional information regarding commissions and/or other compensation paid to the POR by the Claim Administrator in connection with services under the Administrative Services Agreement, the Employer should contact its POR.

Are commissions to be paid?  Yes  No

**Producer or Agency to whom commissions are to be paid\*:** INSURICA Insurance Services, LLC

Oklahoma Producer#: 107929645

NPN:

Address: 5100 Classen Blvd, Suite 300

City: Oklahoma City

State: OK

ZIP: 73118

Phone: 405-556-2284

Fax: 405-556-2394

Email: Kelley.Speck@INSURICA.com

Is Producer/Agency appointed with BCBSOK in Oklahoma?  Yes  No

Commissions:

PCPM \$ Does a Monthly Cap Apply  Yes  No \$ (If cap is annual, divide by twelve)

Flat \$ Does a Monthly Cap Apply  Yes  No \$ (If cap is annual, divide by twelve)

Percentage of Stop Loss: %

ADDITIONAL COMMISSIONS:

\* The Producer or agency name(s) above to whom commissions are to be paid must exactly match the name(s) on the appointment application(s).

**Schedule of Eligibility**

**NO CHANGES**

**SEE ADDITIONAL PROVISIONS**

Employer has made the following eligibility decisions:

**1. Eligible Person means:**

- A full-time employee of the Employer.
- A full-time employee of the Employer who is a member of: (name of union)
- A part-time employee of the Employer.
- A retiree of the Employer. Define criteria:
- Other: A Full-Time employee, a Retiree and an Elected Official

Notwithstanding any other state or federal law, an eligible Retiree may continue, at their own expense, coverage under this plan following termination of their active status

Are any classes of employees to be excluded from coverage?  Yes  No

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If yes, please identify the classes and describe the exclusion:

**2. Employee definition:**

**Full-Time Employee means:**

- A person who is regularly scheduled to work a minimum of \_\_\_\_\_ hours per week and who is on the permanent payroll of the Employer.
- Other: 1. A regular, full-time employee of the employer who regularly works at least 30 hours per week.
- 2. A regular, part-time employee of the employer who regularly works less than 30 hours per week and who has been covered by this plan as a full-time employee of the employer at least 10 years.
- 3. An elected official of the employer.

Group's retiree provisions should be as follows:

Retiree: An eligible Retiree shall be defined as any former Employee who receives a continuing benefit pursuant to the provisions of the Oklahoma Firefighters Pension and Retirement System, or the Oklahoma Police Pension and Retirement System, or an Employee who worked for a period of at least eight (8) years or more for the Employer on a full-time basis and had a standard work-week of thirty (30) hours or more (or an annual budgeted work week averaging thirty (30) hours or more per standard work-week and for whom benefits were budgeted by the Employer). Elected officers shall be eligible for the plan as a retiree as long as elected officers have served eight (8) or more years with the City of Midwest City and who has continuously participated in the health benefits plan at the City of Midwest City at the time of retirement. The surviving Spouse or surviving minor child or children of a retiree may continue in force, at their own expense, the Plan, provided the surviving Spouse or surviving minor child or children continuously participated in the Plan at the then time of death of the Retiree. To continue in force the Plan, the surviving Spouse or surviving minor child or children shall notify the Plan Administrator within 30 days of death of the Retiree. Due to being permanently and totally disabled as the result of a job-related sickness or accident suffered while working for the Employer as determined by the Worker's Compensation Court or effective April 4, 2010.

**Part-Time Employee means:**

- A person who is regularly scheduled to work a minimum of \_\_\_\_\_ hours per week and who is on the permanent payroll of the Employer.
- Other:

**3. The Effective Date of termination for a person who ceases to meet the definition of Eligible Person:**

- The date such person ceases to meet the definition of Eligible Person.
- The last day of the calendar month in which such person ceases to meet the definition of an Eligible Person.
- Other: RETIREE ENROLLMENT PROVISIONS

Important - Failure to elect retiree coverage when first eligible shall waive any future rights to apply for retiree coverage. Retiree enrollment is classified in the following manner:

Initial enrollment - coverage for eligible retiree participants will become effective on the day following a retiree's retirement date from employment with the City of Midwest City and/or the day immediately following their termination from active coverage as provided under this Plan, provided that the retiree has elected to participate under this coverage within thirty (30) days from the date of their retirement with the Employer. Coverage will be retroactive to the last date of coverage as an active employee.

Medicare - All retirees eligible for Medicare must elect and enroll in Part A and Part B if electing retiree coverage with the Employer.

Subsequent changes in status - application for a change in status from single to family coverage, or the addition of a previously not-covered dependent. All subsequent enrollments are subject to acceptance

only during an open enrollment period. Enrollment occurs only once each year during the month of May. Termination of Coverage. Termination of coverage may occur in one of the following ways:

1. Upon termination of the Plan.
2. Thirty (30) days from the due date of the required contribution if unpaid, together with any accrued late charge(s).
3. The Retiree does not elect to continue coverage at open enrollment, or notifies the Plan Administrator of their intent to terminate coverage.

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Once retiree coverage is terminated, it cannot be reinstated without first returning to Active Employee status

4. Select an effective date rule for a person who becomes an Eligible Person after the Effective Date of the Employer's health care plan (the effective date must not be later than the 91st calendar day after the date that a newly eligible person becomes eligible for coverage, unless otherwise permitted by applicable law).

- The date of employment.
- The \_\_\_\_ day of employment.
- The \_\_\_\_ day of the month following \_\_\_\_ month(s) of employment.
- The \_\_\_\_ day of the month following \_\_\_\_ days of employment.
- The \_\_\_\_ day of the month following the date of employment.
- Other: **RETIREE ENROLLMENT PROVISIONS**

Important - Failure to elect retiree coverage when first eligible shall waive any future rights to apply for retiree coverage.

Retiree enrollment is classified in the following manner:

Initial enrollment - coverage for eligible retiree participants will become effective on the day following a retiree's retirement date from employment with the City of Midwest City and/or the day immediately following their termination from active coverage as provided under this Plan, provided that the retiree has elected to participate under this coverage within thirty (30) days from the date of their retirement with the Employer. Coverage will be retroactive to the last date of coverage as an active employee.

Medicare - All retirees eligible for Medicare must elect and enroll in Part A and Part B if electing retiree coverage with the Employer.

Subsequent changes in status - application for a change in status from single to family coverage, or the addition of a previously not-covered dependent. All subsequent enrollments are subject to acceptance only during an open enrollment period. Enrollment occurs only once each year during the month of May.

Is the waiting period requirement to be waived on initial group enrollment?  Yes  No

Are there multiple new hire waiting periods?  Yes  No

**If yes**, please attach eligibility and contribution details for each section.

5. **Domestic partners covered:**  Yes  No

**If yes**, a domestic partner is eligible to enroll for coverage.

**If yes**, are domestic partners eligible for continuation of coverage?  Yes  No

**If yes**, are dependents of domestic partners eligible to enroll for coverage?  Yes  No

**If yes**, are dependents of domestic partners eligible for continuation of coverage?  Yes  No

The Employer is responsible for providing notice of possible tax implications to those Covered Employees with coverage for domestic partners and/or dependents of domestic partners.

6. **Limiting Age for covered children:** Twenty-six (26) years, regardless of presence or absence of a child's financial dependency, residency, student status, employment status, marital status, eligibility for other coverage, or any combination of those factors. Other: \_\_\_\_\_

7. **Termination of coverage upon reaching the Limiting Age:**

- The last day of coverage is the day prior to the birthday.
- The last day of coverage is the last day of the month in which the limiting age is reached.
- The last day of coverage is the last day of the billing month.
- The last day of coverage is the last day of the year (12/31) in which the limiting age is reached.
- The last day of coverage is the day prior to the Employer's Anniversary Date.

Automatically cancel dependents when they reach the day their coverage terminates?  Yes  No

*\*Automatically canceling dependents is not recommended for accounts with automated eligibility*

Will coverage for a child who is medically certified as disabled and dependent on the employee terminate upon reaching the Limiting Age even if the child continues to be both disabled and dependent on the employee?

Yes  No

*However, such coverage shall be extended in accordance with any applicable federal or state law and the Disabled Dependent provisions of this BPA. The Employer will notify BCBSOK of any instance where the continuation of disabled dependent coverage is required.*

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8. **Disabled dependent:** A disabled dependent means a dependent child who is medically certified as disabled and dependent upon the Employee or his/her spouse. A child is a disabled child when the child is unable to engage in any substantial gainful activity by reason of any medically determinable physical or mental impairment which can be expected to result in death or which has lasted or can be expected to last for a continuous period of not less than 12 months, per Internal Revenue Code Section 22(e)(3).

To administer medical certification of disabled dependents, you may select option (a) Standard Rules or (b) Custom Rules. BCBSOK will administer its standard process for administration of disabled dependent coverage if (a) below is selected by Employer, or at the Employer's direction memorialized below, BCBSOK will follow a customized process if Employer selects (b). If (b) is selected there are additional selections regarding age, proof of prior coverage, certification review, forms, and previous medical certification approvals.

- (a)  Disabled dependent administration will follow **Standard Rules**.

A disabled dependent is eligible to **continue** coverage beyond the limiting age, provided the disability began before the child attained the age of 26. A disabled dependent is eligible to **be added to** coverage beyond the limiting age, provided the disability began before the child attained the age of 26, and proof of coverage as a disabled dependent is provided. Administration of certification review is administered by BCBSOK; a disabled dependent certification form must be submitted to BCBSOK.

- (b)  Disabled dependent Administration will follow **Custom Rules**. Please make the following sections:

**Age:** Please select one option regarding age of when the disability began.

- The disability must have begun before the child attained the age of 26.  
 All disabled dependents are covered regardless of when the disability began.

**Proof of prior coverage:** Please select required or not required below:

When **adding** coverage, proof of prior coverage as a disabled dependent is  required  not required.

**Certification review:** Please select one option regarding the administration of certification review.

- Certification review is administered by BCBSOK; a disabled dependent certification form must be submitted to BCBSOK.  
 Certification review is administered by the Employer; there are no disabled dependent certification form requirements.

**If certification review is administered by BCBSOK, please select one option regarding forms:**

- Utilize BCBSOK disabled dependent certification forms.  
 Utilize custom/other disabled dependent certification forms.

**If Certification Review is administered by BCBSOK, please select allowed or not allowed below:**

A disabled dependent approved certification from a prior insurance carrier is  allowed  not allowed.  
A disabled dependent approved certification from a prior BCBS policy is  allowed  not allowed.

9. Will extension of benefits due to temporary layoff, disability or leave of absence apply?

- Yes (specify number of days below)  No

Temporary Layoff:            days            Disability:            days            Leave of Absence:            days

However, benefits shall be extended for the duration of an Eligible Person's leave in accordance with any applicable federal or state law. The Employer will notify BCBSOK in any instance where an extension of benefits is to be provided due to a temporary layoff, disability, or leave of absence.

## 10. Enrollment:

**Special Enrollment:** An Eligible Person may apply for coverage, family coverage or add dependents within thirty-one (31) days of a Special Enrollment qualifying event if he/she did not previously apply prior to his/her Eligibility Date or when otherwise eligible to do so. Such person's Coverage Date, family Coverage Date, and/or dependent's Coverage Date will be the effective date of the qualifying event or, in the event of Special Enrollment due to marriage or termination

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of previous coverage, then no later than the first day of the Plan Month following the date of receipt of the person's application of coverage.

An Eligible Person may apply for coverage within sixty (60) days of a Special Enrollment qualifying event in the case either of a loss of coverage under Medicaid or a state Children's Health Insurance program, or eligibility for group coverage where the Eligible Person is deemed qualified for group coverage assistance under a state Medicaid or CHIP premium assistance program.

**Open Enrollment:** An Eligible Person may apply for coverage, family coverage or add dependents if he/she did not apply prior to his/her Eligibility Date or did not apply when otherwise eligible to do so, during the Employer's annual Open Enrollment Period. Such person's Coverage Date, family Coverage Date, and/or dependent's Coverage Date will be a date mutually agreed to by the Claim Administrator and the Employer. Such date shall be subsequent to the Open Enrollment Period. Specify Open Enrollment Period: 05/01/2025-05/31/2025

**Late Enrollment:** An Eligible Person may apply for coverage, family coverage or add dependents if he/she did not apply prior to his/her Eligibility Date or did not apply when otherwise eligible to do so. Such person's Coverage Date, family Coverage Date, and/or dependent's Coverage Date will be a date mutually agreed to by the Claim Administrator and the Employer.

**Select one of the provisions below:**

- Open Enrollment – Late applicants may only apply during Open Enrollment.
- Late Entrant – Late applicants may apply at any time – coverage effective date is determined by the receipt date and the rules governing off-cycle enrollments.

11. \* Does COBRA Auto Cancel apply?  Yes  No  
*Member's COBRA/Continuation of coverage will be automatically cancelled at the end of the member's eligibility period.*  
*\*Not recommended for accounts with automated eligibility*

**CURRENT EMPLOYEE ELIGIBILITY INFORMATION**

Current number of eligible subscribers at onboarding and/or annual renewal \_\_\_\_\_.

**Lines of Business (Check all applicable services)**

**NO CHANGES**

**See Additional Provisions**

**Medical Plan Services:**

- Blue Choice PPO
- BlueOptions
- Blue Preferred
- NativeBlue
- Blue High Performance Network<sup>SM</sup> (BlueHPN<sup>SM</sup>)
- Blue Advantage PPO<sup>SM</sup>
- Out of Area** (Traditional)

**Additional Services:**

- Wellbeing Management
- Wellness Incentives
- Health Advocacy Solutions
- Mercer Health Advantage
- Custom Care Management Unit
- Blue Directions<sup>SM</sup> (Private Exchange) *(If selected, the Blue Directions Addendum is attached and made a part of the parties' Administrative Services Agreement.)*
- Limited Fiduciary Services for Claims and Appeals
  
- Other Select Product
- Other Select Product
- Other Select Product
- Other Select Product
- Other MDLIVE Virtual Visits-Medical Only
- Other
- Other
- Other

**Consumer Driven Health Plan:**

- Blue Edge<sup>SM</sup> (HCA) *(If selected, complete separate HCA BPA)*
- HSA (Integrated Vendor: Select Vendor)\* If HealthEquity, Inc. is selected, BCBSOK to send HSA enrollment to HealthEquity, Inc  Yes  No  
Non-Integrated Vendor:
- FSA (Integrated Vendor: Select Vendor)\*  
Non-Integrated Vendor:
- HRA (Integrated Vendor: Select Vendor)\*  
Non-Integrated Vendor:

**Prescription Drugs:** *(If selected, the PBM Fee Schedule Addendum must be attached and is part of this BPA)*

- Pharmacy Network (Select one):
- Traditional Select Network
  - Advantage Network
  - Preferred Network
  - Elite Network
  - Network on PBM Fee Schedule Addendum
- Drug List: Select Drug List  
Other (please specify):
- PPO/HSA Preventive Drug List:  
Please specify: Select Option  
Other RX programs: Select Program

**Ancillary Services:**

- Dental Plan Services
- Vision Insurance *(if selected, complete a separate application)*
- Stop Loss Coverage *(if selected, complete separate Application and Policy Schedule for Stop Loss Coverage)*
- Life, Disability, Critical Illness, Accident or Hospital Indemnity Insurance *(if selected, complete a separate application for those coverages)*
- COBRA Administrative Services *(Please provide name of entity administering COBRA: )*

\*An HSA must be paired with a qualified high deductible health plan (HDHP) and follow strict requirements set forth by the Internal Revenue Service (IRS). Employer Groups should seek advice from their independent tax advisor, legal counsel, or other professional counselor, to ensure their proposed benefit strategy with respect to HSAs, FSAs, HRAs, or other benefit arrangements does not conflict with current IRS requirements.

Mercer Health Advantage is offered by Mercer, an independent company, and is administered by Blue Cross and Blue Shield of Oklahoma.

Custom Care Management Unit is offered by WTW, an independent company, and is administered by Blue Cross and Blue Shield of Oklahoma.

Medical and Dental benefits and services are administered by Blue Cross and Blue Shield of Oklahoma, a Division of Health Care Service Corporation, a Mutual Legal Reserve Company, an Independent Licensee of the Blue Cross and Blue Shield Association.

Life, Disability, Critical Illness, Accident, Hospital Indemnity and Vision products are issued by Dearborn Life Insurance Company, 701 E. 22nd St. Suite 300, Lombard, IL 60148. Blue Cross and Blue Shield of Oklahoma is the trade name of Dearborn Life Insurance Company, an independent licensee of the Blue Cross and Blue Shield Association. BLUE CROSS®, BLUE SHIELD® and the Cross and Shield Symbols are registered service marks of the Blue Cross and Blue Shield Association, an association of independent Blue Cross and Blue Shield Plans.

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## FEE SCHEDULE

Employer shall pay amounts Claim Administrator bills Employer for benefit claims Claim Administrator processes on Employer's behalf as well as administrative fees as set forth in this Fee Schedule.

**Payment Specifications**  NO CHANGES  SEE ADDITIONAL PROVISIONS

**Employer Payment Method:**  Online Bill Pay  Electronic  Auto Debit  Check  
**Employer Payment Period:**  Weekly (cannot be selected if Check is selected as payment method above)  
 Semi Monthly (cannot be selected if Check is selected as payment method above)  
 Monthly

**Run-Off Period:** Employer payments are to be made for 12 months following end of Fee Schedule Period.  
*Standard is twelve (12) months.*

**Fee Schedule Period:** To begin on Effective Date of Coverage and continue for 12 months. If other than 12 months, please specify: \_\_\_\_\_ months.

**Administrative Per Employee per Month (PEPM) Charges**  NO CHANGES  SEE ADDITIONAL PROVISIONS

	2026			
Administrative Fee	\$69.82	\$	\$	\$
Dental	\$	\$	\$	\$
Claims Fiduciary	\$Included in Admin Fee	\$	\$	\$
Advanced Payment Review	25% \$	%	%	%
*Medical Drug Rebate Credit	\$(2.50)	\$( )	\$( )	\$( )
*Rebate Credit for the Prescription Drug Program	\$( )	\$( )	\$( )	\$( )
Telehealth (Virtual Visits)	\$Included in Admin Fee	\$	\$	\$
Wellbeing Management	\$Included in Admin Fee	\$	\$	\$
Health Advocacy Solutions	\$	\$	\$	\$
Commissions: _____	\$	\$	\$	\$
Commissions: _____	\$	\$	\$	\$
Commissions: _____	\$	\$	\$	\$
Other: Select Service Category List Service: _____	\$	\$	\$	\$
Other: Select Service Category List Service: _____	\$	\$	\$	\$
Other: Stop Loss Accommodation Fee List Service: _____	\$2.00	\$	\$	\$
Miscellaneous: _____	\$	\$	\$	\$
Miscellaneous: _____	\$	\$	\$	\$

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<b>Total</b>	<b>\$69.32</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>
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\*The Rebate Credit is a per Covered Employee per month credit applied to the monthly billing statement. The Employer and Claim Administrator have agreed to the Rebate Credit and Employer agrees that it and its group health plan have no right to, or legal interest in, any portion of the rebates, either under the pharmacy benefit or the medical benefit, actually provided by the Pharmacy Benefit Manager ("PBM") or a pharmaceutical manufacturer to Claim Administrator and consents to Claim Administrator's retention of all such rebates. The Rebate Credit will be provided from Claim Administrator's own assets and may or may not equal the entire amount of rebates actually provided to Claim Administrator by the PBM or expected to be provided. Rebate Credits shall not continue after termination of the Prescription Drug Program. Employer agrees that any Rebate Credit provision in the governing Administrative Services Agreement to the contrary is hereby superseded.

<b>Administrative Line Item Charges</b>		<b>Frequency</b>	<b>Amount</b>
<input type="checkbox"/> <b>SEE ADDITIONAL PROVISIONS</b>			
Other: Select Service Category List Service: _____	Select Billing Frequency If applicable, describe other: _____		\$ _____
Other: Select Service Category List Service: _____	Select Billing Frequency If applicable, describe other: _____		\$ _____
Other: Select Service Category List Service: _____	Select Billing Frequency If applicable, describe other: _____		\$ _____
Other: Select Service Category List Service: _____	Select Billing Frequency If applicable, describe other: _____		\$ _____
Miscellaneous: _____	Select Billing Frequency If applicable, describe other: _____		\$ _____
Miscellaneous: _____	Select Billing Frequency If applicable, describe other: _____		\$ _____
Miscellaneous: _____	Select Billing Frequency If applicable, describe other: _____		_____ %
<b>Total:</b>			<b>\$ _____</b>

**Other Service and/or Program Fee(s)**       **NO CHANGES**       **SEE ADDITIONAL PROVISIONS**

**NSA Fees**

In connection with the claims, items, and services that are subject to the No Surprises Act ("NSA") and disputed by a Provider, Employer agrees to pay Claim Administrator the following fees:

- Fifty dollars (\$50) for each claim that is the subject of informal negotiation with a Provider (this fee will be charged in the event the Provider, in its sole discretion, determines that it will not accept the initial payment amount); and
- An additional seventy-five dollars (\$75) per claim for each independent dispute resolution process ("IDR") where Claim Administrator represents Plan (this fee will be charged in the event the Provider, in its sole discretion, determines that it will initiate IDR after the informal negotiation period); and

All costs imposed by the IDR entity or any state, federal or local government entity in connection with an IDR.

**Not applicable to Grandfathered Plans**

**External Review Coordination:**  Yes     No

**If yes**, coordination fee: \$700 for each external review requested by a Covered Person that the Claim Administrator coordinates for the Employer in relation to the Employer's Plan. Employer elects for external reviews to be performed under the Affordable Care Act external review process.

**If no**, provide name and address of administrator(s) of external review coordination and indicate if administrating medical claims and/or pharmacy claims:

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**Administrator:** Medical claims:  Pharmacy claims:  Name: Mailing Address:  
**Administrator:** Medical claims:  Pharmacy claims:  Name: Mailing Address:

**Advanced Payment Review (APR):**  Yes  No

APR is a suite of payment integrity offerings. Refer to the Matrix. If Employer elects APR, indicate APR Savings Program or PEPM below:

APR Savings Program

PEPM

**For APR capabilities other than Reimbursement Services:** If Employer elects APR Savings Program, Claim Administrator will invoice the percentage indicated in the Fee Schedule of any savings amounts identified by Claim Administrator or third-party vendor.

**Reimbursement Services:**  Yes  No If yes, Claim Administrator will retain twenty-five percent (25%) of any recovered amounts made on third-party liability claims other than recovery amounts received as a result of or associated with any Workers' Compensation Law.

**Third-Party Law Firms Provisions (other than Reimbursement Services):**

Employer will pay no more than 35% of any recovered amount made by Claim Administrator's third-party law firm or up to 35% of any recovered amount will be deducted from the amount distributed according to established allocation processes.

**FlexAccess™:**  Yes  No

As part of its plan design, Employer has directed Claim Administrator to administer claims, copay and coinsurance requirements for Covered Persons enrolled in the FlexAccess program, including (i) adjusting Covered Persons' copayment amounts to the amount of the manufacturer copay assistance, (ii) applying such manufacturer assistance to reduce Covered Persons' out of pocket costs, and (iii) not applying the manufacturer assistance to Covered Persons' deductibles and/or out of pocket maximum accumulators. Employer agrees that FlexAccess is a plan design decision of Employer and is consistent with Employer's plan design and supported by plan documents. Employer further agrees it is solely responsible for, and will, to the extent permitted by law, hold Claim Administrator harmless from, the legal and regulatory compliance of the Plan and its plan design, to the extent permitted by law.

Claim Administrator will assess a program fee equal to 20% of the total shared savings. Total shared savings is calculated as the difference between Employer responsibility without the FlexAccess Program and Employer responsibility with the FlexAccess Program. The Employer responsibility without the FlexAccess Program is the cost of the drug minus the Covered Person's cost share if the Covered Person was not enrolled in the program. The Employer responsibility with the FlexAccess Program is the cost of the drug minus: (1) the manufacturer copay assistance dollars that are allocated to the cost of the drug and (2) the cost share for the Covered Persons enrolled in the program.

**FLEXACCESS™ QUALIFIED HDHP:**  Yes  No

As part of its plan design, Employer has directed Claim Administrator to administer claims, copay and co-insurance requirements for Covered Persons enrolled in FlexAccess Qualified HDHP, including applying such manufacturer copay assistance to reduce Covered Persons' out of pocket costs, and not applying the manufacturer assistance to Covered Persons' deductibles and/or out of pocket maximum accumulators. Employer agrees that FlexAccess Qualified HDHP is a plan design decision of Employer and is consistent with its plan design and supported by the Employer's plan documents. Employer further agrees it is solely responsible for, and will hold Claim Administrator harmless from, the legal and regulatory compliance of the Plan and its plan design, to the extent permitted by law.

Claim Administrator will assess a fee equal to 20% of program savings for administrative fees. Program savings (shared savings) will be calculated based on the manufacturer copay assistance dollars that are allocated to the cost of the drug minus the Covered Persons' estimated cost share (copay or coinsurance) that would have been paid if they were not enrolled in the program.

The difference between Employer Responsibility for claims utilizing FlexAccess Qualified HDHP and not utilizing FlexAccess Qualified HDHP includes as follows:

**Proprietary and Confidential Information of Claim Administrator**

**Not for use or disclosure outside Claim Administrator, Employer, their respective affiliated companies and third-party representatives, except with written permission of Claim Administrator.**

OK GEN ASO BPA (Rev. 06.25) *Blue Cross and Blue Shield of Oklahoma, a Division of Health Care Service Corporation, a Mutual Legal Reserve Company, an Independent Licensee of the Blue Cross and Blue Shield Association*

page 10

WITH FLEXACCESS QUALIFIED HDHP: Cost of drug – amount manufacturer copay assistance used – Covered Persons’ out-of-pocket cost (if any) up to Deductible... Copay assistance reversed from deductible. Plan pays no portion.

WITHOUT FLEXACCESS QUALIFIED HDHP: Cost of drug – Covered Persons’ out-of-pocket cost - Non-FlexAccess Qualified HDHP coupon... Copay assistance applied to Deductible. Plan may pay portion of claim after deductible met

**Alternative Compensation Arrangements:** Employer acknowledges and agrees that Claim Administrator has Alternative Compensation Arrangements with contracted Providers, including but not limited to Accountable Care Organizations and other Value Based Programs. Further information concerning Employer’s payment for Covered Services under such Arrangements is described in the Administrative Services Agreement between the Claim Administrator and the Employer.

**Virtual Visits Program:**  Yes  No **If yes,** Covered Persons would be able to obtain certain Covered Services remotely via interactive video and/or interactive audio/video (where available) capability from Virtual Visits powered by MDLIVE.

MDLIVE® is a separate company that operates and administers Virtual Visits for persons with coverage through Blue Cross and Blue Shield of Oklahoma. MDLIVE is solely responsible for its operations and for those of its contracted providers. MDLIVE® and the MDLIVE logo are registered trademarks of MDLIVE, Inc., and may not be used without permission.

### Termination Administrative Charge

The Termination Administrative Charge applicable to the Run-Off Period shall be equal to the sum of the amounts obtained by multiplying the total number of Covered Employees by category (*per Covered Employee per individual or family composite*) during the three (3) months immediately preceding the date of termination by the appropriate factors shown below. In the event of a partial termination, the Termination Administrative Charge shall be the sum of the amount obtained by multiplying three (3) times the total number of terminated Covered Employees by the appropriate factors shown below.

Service	2026			
Medical Run-off Administration Charge	\$18.52	\$	\$	\$
Dental Run-off Administration Charge	\$	\$	\$	\$
Miscellaneous	\$	\$	\$	\$
Miscellaneous	\$	\$	\$	\$
<b>Total:</b>	<b>\$18.52</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>

### Other Provisions

NO CHANGES  SEE ADDITIONAL PROVISIONS

#### 1. Summary of Benefits & Coverage:

- a. Will Claim Administrator create Summary of Benefits and Coverage (SBC)?
  - Yes. (Please answer question b. The SBC Addendum is attached.)
  - No. (If No, then skip question b and refer to the Administrative Services Agreement for further information.)
  
- b. Will Claim Administrator distribute the (SBC) to Covered Persons?
  - No. Claim Administrator will create SBC (only for benefits Claim Administrator administers under the Administrative Services Agreement) and provide SBC to Employer in electronic format. Employer will then distribute SBC to Covered Persons (or hire a third party to distribute) as required by law.
  - Yes. Claim Administrator will create SBC (only for benefits Claim Administrator administers under the Administrative Services Agreement) and distribute SBC to Covered Persons via regular hardcopy mail or electronically. Distribution Fee for hardcopy mail is one dollar and fifty cents (\$1.50) per package.

**Proprietary and Confidential Information of Claim Administrator**

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**2. Massachusetts Health Care Reform Act:**

Does the Employer direct Claim Administrator to provide written statements of creditable coverage to its Covered Employees who reside, or have enrolled dependents who reside, in Massachusetts and file electronic reports to the Massachusetts Department of Revenue in a manner consistent with the requirements under the Massachusetts Health Care Reform Act?  Yes  No

*If no:* The Employer acknowledges  it will provide written statements and electronic reporting to the Massachusetts Department of Revenue if required by the Massachusetts Health Care Reform Act or  that it does not believe it is subject to the notification and reporting requirements of the Massachusetts Health Care Reform Act.

Please note Employer will be responsible for conducting or otherwise performing creditable coverage eligibility testing. By electing Claim Administrator to disseminate the above written statements, Employer is representing that any such coverage qualifies as creditable coverage under the applicable Massachusetts Health Care Reform Act requirements.

**3. Alternative Care Management Program** (applicable to the purchased medical management program):

Yes  No

*The undersigned representative authorizes provision of alternative benefits for services rendered to Covered Persons for Utilization Management, Case Management, including but not limited to Behavioral Health, and other health care management programs.*

**4. Prior Authorization** (applicable to the purchased medical management program): Employer acknowledges and agrees to utilize Claim Administrator’s standard list of services and supplies for which Prior Authorization (also called pre-notification or preauthorization) is required.

**5. Essential Health Benefits (“EHB”) Election:**

**Employer elects EHBs based on the following:**

- 1.  EHBs based on a Claim Administrator state benchmark:  
 Illinois  Montana  New Mexico  Oklahoma  Texas
- 2.  EHBs based on benchmark of a state other than IL, MT, NM, OK and TX  
If so, indicate the state's benchmark that Employer elects: \_\_\_\_
- 3.  Other EHB, as determined by Employer

In the absence of an affirmative selection by Employer of its EHBs, then Employer is deemed to have elected the EHBs based on the Oklahoma benchmark plan.

**6.** This ASO BPA is binding on both parties and is incorporated into and made a part of the Administrative Services Agreement between the parties with both such documents to be referred to collectively as the “Administrative Services Agreement” unless specified otherwise.

**7. Independent Dispute Resolution Process:**

Employer authorizes and directs Claim Administrator to offer an amount not to exceed the greater of the Qualifying Payment Amount (QPA) or the amount allowed on the initial notice of payment or denial of a claim on behalf of the Employer during negotiations under the federal IDR process.

**Additional Provisions:** Domestic Partner Coverage: Legally married in a state that recognizes same sex marriage.

Pharmacy benefits continue to be carved out to MaxCare effective 07/01/2026.

Effective 7/1/2026, Stop Loss coverage is now carved out to PartnerRe.

**Proprietary and Confidential Information of Claim Administrator**

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**Signature**

Alexandria Lamb

Sales Representative

403

918-551-3056

District

Phone & FAX Numbers

Kelley Speck

Producer Representative

Insurica Insurance Services, LLC

Producer Firm

5100 Classen Blvd. Ste 300

Oklahoma City, OK 73118

Producer Address

405-556-2284 405-556-2394

Producer Phone & FAX Numbers

Kelley.Speck@INSURICA.com

Producer Email Address

73-0687265

Tax I.D. No.

Signature of Authorized Purchaser

Print Name

Title

Date

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**PROXY**

The undersigned hereby appoints the Board of Directors of Health Care Service Corporation, a Mutual Legal Reserve Company, or any successor thereof ("HCSC"), with full power of substitution, and such persons as the Board of Directors may designate by resolution, as the undersigned's proxy to act on behalf of the undersigned at all meetings of members of HCSC (and at all meetings of members of any successor of HCSC) and any adjournments thereof, with full power to vote on behalf of the undersigned on all matters that may come before any such meeting and any adjournment thereof. The annual meeting of members is scheduled to be held each year in the HCSC corporate headquarters on the last Tuesday of October at 12:30 p.m. Special meetings of members may be called pursuant to notice provided to the member not less than thirty (30) nor more than sixty (60) days prior to such meetings. This proxy shall remain in effect until either revoked in writing by the undersigned at least twenty (20) days prior to any meeting of members or by attending and voting in person at any annual or special meeting of members.

From time to time, HCSC pays indemnification or advances expenses to its directors, officers, employees or agents consistent with HCSC's bylaws then in force and as otherwise required by applicable law.

Intentionally left blank by the Employer

Group No.: \_\_\_\_\_ By: \_\_\_\_\_  
Print Signer's Name Here  
➔  
Signature and Title

Group Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP: \_\_\_\_\_

Dated this \_\_\_\_\_ day of \_\_\_\_\_  
Month Year

**Proprietary and Confidential Information of Claim Administrator**  
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**City Manager's Office**  
**Vaughn Sullivan,**  
**Assistant City Manager**  
[vsullivan@midwestcityok.org](mailto:vsullivan@midwestcityok.org)  
100 N. Midwest Blvd,  
Midwest City, Oklahoma 73110  
O: 405-739-1207 /Fax: 405-739-1208

TO: Honorable Mayor and Council

FROM: Vaughn K. Sullivan, Assistant City Manager

DATE: June 23, 2026

SUBJECT: Discussion, consideration, and possible action declaring two large office desks, two large file drawers, two small drawers, one writing table, and one center pen drawer as surplus and authorizing disposal by public auction, sealed bid or other means as necessary.

The following items will be removed during the Senior Center renovations and have no other use.

Two large office desks:  
Front facing: 72" x 60"  
Height: 30"  
2 large file drawers  
2 small drawers  
1 pull out writing table  
1 center pen drawer

This agenda item will declare the items as surplus and authorize disposal by public auction, sealed bid or other means as necessary.

Vaughn K. Sullivan, Assistant City Manager



City Manager's Office  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
office 405.739-1205

TO: Honorable Mayor and Council

FROM: Ryan Rushing, Director of Operations

DATE: June 13, 2026

SUBJECT: Discussion, consideration, and possible action declaring the attached 911 Call Center office furniture, (7) Chairs, (2) Filing Cabinets, and (1) Podium as surplus and authorizing disposal by public auction, sealed bid or other means as necessary.

---

The attached office furniture is either broken, defective or replaced. There are no other uses in the city for these items. This agenda item will declare the items as surplus.

- (2) Black Chair
- (2) Black & Gray Chair
- (1) Brown Leather Chair
- (1) Red Cloth Chair (Broken)
- (1) White Chair
- (2) Black 2 drawer filing cabinet
- (1) Wooden Podium (Broken)

Ryan Rushing, Director of Operations



Community Development Department  
100 N. Midwest Blvd, Midwest City, OK

---

To: Honorable Mayor & Council  
From: Matt Summers, Community Development Director  
Date: June 23, 2026  
Subject: Discussion, consideration, and possible action declaring City property, 1000 N Redbud Dr, 106 W Lilac Ln, 400 E Lockheed Dr and 402 E Lockheed Dr as surplus property and authorizing their disposal through sealed bid, public auction, or by other means as necessary.

---

The Department of Community Development requests to declare the following City-owned lots as surplus and authorize their use in the redevelopment of the Original Mile Neighborhood through the RFP process or other means that would guarantee their redevelopment as residential properties.

Address	Legal	Square Footage
1. 1000 N Redbud Dr	Speckman Heights Add, Block 10, Lot 17	7,967.12 sf
2. 106 W Lilac Ln	Speckman Heights Add, Block 20, Lot 004	6,250.86 sf
3. 400 E Lockheed Dr	Atkinson Heights Add, Block 31, Lot 26	7139.48 sf
4. 402 E Lockheed Dr	Atkinson Heights Add, Block 31, Lot 27	8,028.10 sf

If declared surplus, these properties will be made available for redevelopment through a means to be determined by the Community Development Director and the City Attorney such as the RFP process, direct sale or land swap or another means of redevelopment

Matt Summers, AICP  
Community Development Director

## MEMO

**To:** Honorable Mayor and City Council

**From:** Doug Beabout, Fire Chief

**Date:** June 23, 2026

**Subject:** Discussion, consideration, and possible action of declaring a 2005 Chevrolet Suburban, fleet ID 07-02-07 as surplus and authorizing disposal by public auction, sealed bid or other means as necessary. (Fire - D. Beabout)

---

Staff respectfully requests that the Council declare as surplus a 2005 Chevrolet Suburban fleet ID 07-02-07 with a VIN of 3GNGK26U95G256713. The apparatus served a long career as a “Command” vehicle with the fire department but has since been replaced. The vehicle is of no operational value for the fire department and has passed its useful service life due to reliability related to its’ age and frequent repairs. We have found it is no longer cost effective to remain in our fleet. I would consider the vehicle to be in “fair” cosmetic condition as well as “fair” mechanical condition.

Staff recommends approval.



Doug Beabout  
Fire Chief



DISCUSSION ITEMS



**To:** Honorable Mayor and Council

**From:** Matt Summers, Community Development Director

**Date:** June 23, 2026

**Subject:** (MP-33) Public hearing, discussion, consideration, and possible action to approve a Minor Plat for the property located at 223 Grandview Road, Midwest City, Oklahoma. (Ward 3)

**Executive Summary:** The Applicant is requesting approval of a minor plat to subdivide one (1) residential lot into two (2) single-family residential lots.

The subject property is zoned R-6, Single-Family Detached Residential District, and is part of Kanaly's East Reno Ave. Addition, originally approved March 24, 1949.

The property currently contains two (2) single-family residences and the proposed minor plat would create separate lots for each house.

Staff have conducted their standard review and determined that the request meets the criteria for a minor plat as outlined in Chapter 38 of the Midwest City Municipal Code.

Both state and local notification requirements were met. At the time of this writing, no public inquiries have been received regarding this application.

At the public hearing before the Planning Commission, there were no comments in support or opposition to this application. The Planning Commission unanimously recommended approval of this item.

Action is at the discretion of the Council.

**Dates of Hearing:**

Planning Commission- June 2, 2026

City Council- June 23, 2026

**Date of Pre-Application Meeting:** March 4, 2026

**Date of Site Plan Review Team Meeting:** April 22, 2026

**Council Ward:** Ward 3, Raymond Melton

**Owner:** Young Family Revocable Trust



**Applicant:** Pattie Rogers

**Size:** Contains an area of 0.6240 acres MOL

**Zoning Districts:**

Area of Request:	R-6
North:	R-6
South:	R-6
East:	R-6
West:	R-6

**Land Use:**

Area of Request:	Single-Family Residence
North:	Single-Family Residence
South:	Single-Family Residence
East:	Single-Family Residence
West:	Single-Family Residence

**Municipal Code Citation:**

Sec. 38-20 – Minor Plat

*Sec. 38-20.1. Purpose.*

The purpose of a minor plat is to provide a limited means for simple land division under certain circumstances, which results in minimal lot creation.

In circumstances where no new interior public or private roads are created to serve the subdivision, then a minor plat may be suitable as an instrument to subdivide one (1) lot into five (5) or fewer lots. Minor plats are intended to ensure the future growth and development of the entire city by ensuring new development does not hinder the provision of public facilities and services to neighboring and nearby properties.

*Sec. 38-20.2. Applicability.*

An application for approval of a minor plat may be filed when all of the following circumstances apply. Minor plat circumstances.

- (1) The proposed division results in five (5) or fewer lots;
- (2) All lots in the proposed subdivision front onto an existing public or approved private street and the construction or extension of a street or alley is not required to meet these Subdivision Ordinance requirements;
- (3) All lots meet the zoning ordinance area regulations and standards (minimum frontage, etc.); and
- (4) The plat does not require new interior public or private roads to serve the subdivision.

*Sec. 38-20.3 Minor plat requirements.*

- (1) The proposed plat shall be for the subdivision of one (1) lot into five (5) or fewer lots.
- (2) No parcel of land shall have more than one (1) minor plat approved during any five-year period.
- (3) The proposed plat shall meet all zoning ordinance requirements.
- (4) The proposed plat shall meet all Subdivision Ordinance requirements (e.g., improvement of substandard streets, per subsection 38-42.3(b)(2)), or the applicant shall pay fee in-

lieu.

- (5) Private wells and private wastewater treatment facilities that meet the current city health standards shall be considered adequate when existing public water and sewer lines are not within the required area for utility extension and connection as specified in this Code, and at the discretion of the city engineer.

*Sec. 38-20.4. Application requirements.*

- (a) *Same as a final plat.* The requirements for the submittal of a minor plat shall be the same as the requirements for a final plat, as outlined in section 38-19, Final plat.
- (b) *Preliminary plat not needed.* As stated in subsection 38-16.6(a)(2), a preliminary plat is not required when a minor plat is submitted.
- (c) *Application preparation.* An application

*Sec. 38-20.5. Review and approval process.*

- (a) Review action and approval action—Same as final plat. The review and approval processes for a minor plat shall be the same as the review and approval processes for a final plat per section 38-19.
- (b) Minor plat review criteria. The following criteria shall be used to determine whether the application for a minor plat shall be approved, approved with conditions, or denied:
  - (1) The minor plat is consistent with all zoning requirements for the property (if applicable), and all other requirements of this Subdivision Ordinance that apply to the minor plat;
  - (2) All lots to be created by the minor plat already are adequately served by improved public street access and by all required city utilities and services and by alleys, if applicable;
  - (3) The ownership, maintenance and allowed uses of all designated easements have been stated on the minor plat; and
  - (4) The plat does not require new interior public or private roads to serve the subdivision.

**History:**

1. The property was platted as part of Kanaly's East Reno Ave. Addition in 1949.
2. The property was zoned R-6 with the adoption of the 2010 Zoning Map.

**Next Steps:**

If Council approves this minor plat, the applicant must obtain all required signatures and file with Oklahoma County, then provide the City with digital a copy of the filed plat.

**Staff Comments-**

*There are construction requirement references made in the Engineering, Fire Marshal, and Public Works portions of this report. The intent of the Municipal Code is to directly involve the applicant in continued community development activities such as extending public sewer and water and making street improvements, for examples. This is a minor plat application and the construction references are provided to make the applicant and subsequent developers of this property aware of their applicability as they relate to the future development or redevelopment of this property.*

**Engineering Staff Comments:**

**Water Supply and Distribution**

There are public water mains bordering the proposed parcels, an eight (8) inch line runs along the east side of Grandview Road and a six (6) inch line runs the south side of East Main Street. Any new building permit will require tying to the public water system as outlined in Municipal Code 43-32.

**Sanitary Sewerage Collection and Disposal**

There are public sewer mains bordering the proposed parcels, an eight (8) inch line runs along the west side of Grandview Road and an eight (8) inch line runs the north side of East Main Street. Any new building permit will require tying into the public sewer system as outlined in Municipal Code 43-109.

**Streets and Sidewalks**

Access to the area of request exists off of Grandview Road and East Main Street. Public road and sidewalk improvements are not required as part of this application. Public road and sidewalk improvements will be required as part of any new building permit.

**Drainage and Flood Control, Wetlands, and Sediment Control**

The area of request is shown to be in an Area of Minimal Flood Hazard on Flood Insurance Rate Map (FIRM) number 40109C0330H, dated December 18th, 2009. Public drainage and detention improvements are not required as part of this application.

**Easements and Right-of-Way**

Right of way is not required with this application.

**Fire Marshal's Comments:**

No comments at this time.

**Planning Division:**

Staff met with the applicant for a pre-application meeting on March 4, 2026. A Site Plan Review Team meeting was subsequently held on April 22, 2026, with representatives from the Community Development, Engineering, and Fire Departments in attendance.

The applicant is proposing a minor plat to subdivide the subject property into two (2) residential lots, with Lot 1A containing approximately 0.32 acres and Lot 1B containing approximately 0.30 acres, more or less. The property currently contains two (2) existing residential structures, both of which the applicant intends to keep. Approval of the minor plat will bring the properties into compliance with the Zoning Regulations.

The Planning Commission unanimously recommended approval of the minor plat.

Action is at the discretion of the Council.

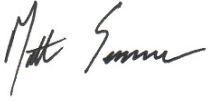
**Action Required:**

Approve or reject the Minor Plat for the property noted herein, subject to staff comments as found in the June 23, 2026, City Council agenda packet and made part of the MP-33 file.

**Suggested Motion:**

*“To approve the Minor Plat for the property noted herein, subject to staff comments found in the June 23, 2026, City Council agenda packet and made part of the MP-33 file.”*

Please feel free to contact my office at (405) 739-1228 with any questions.

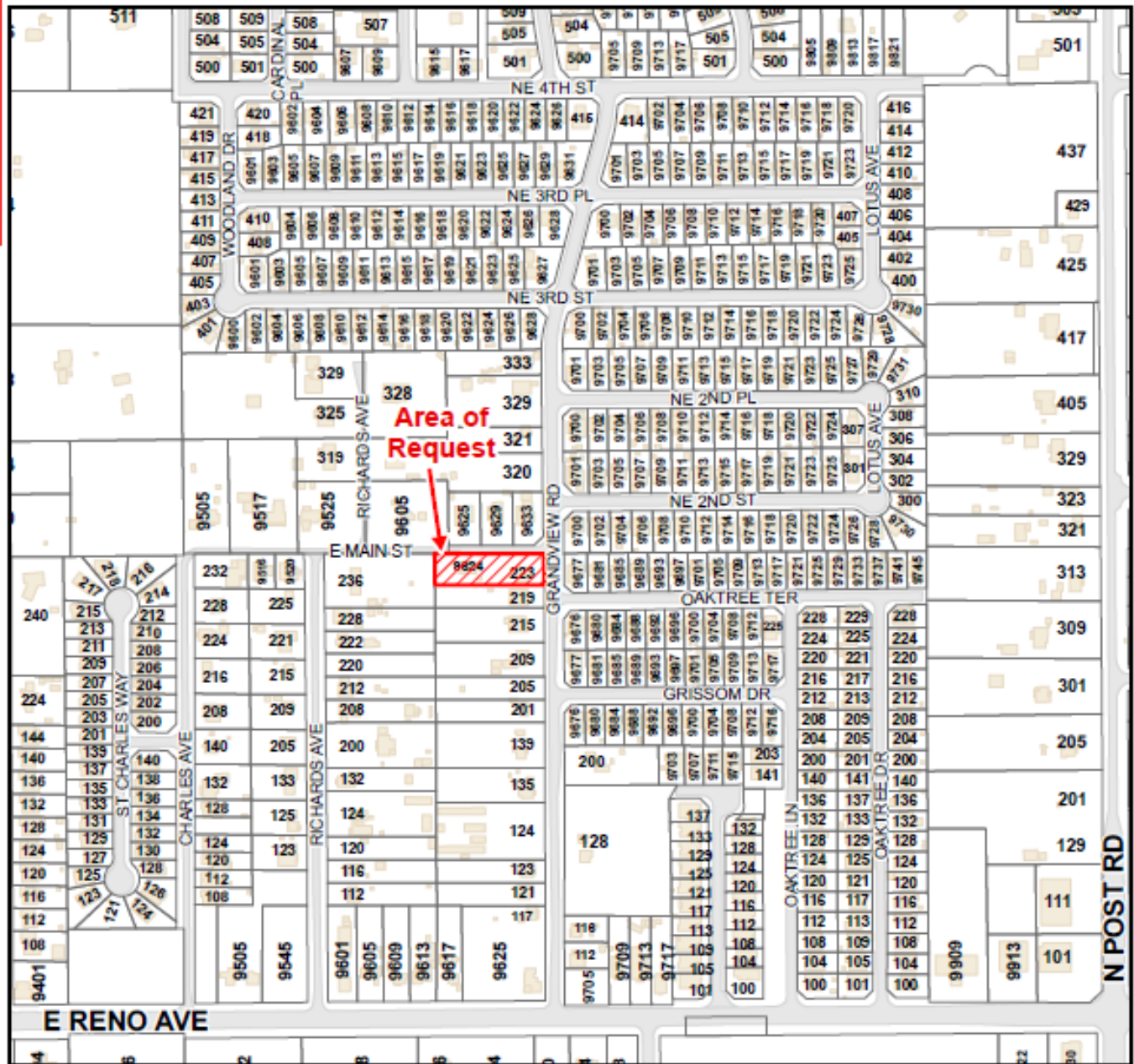
A handwritten signature in black ink that reads "Matt Summers". The signature is written in a cursive, flowing style.

Matt Summers, AICP

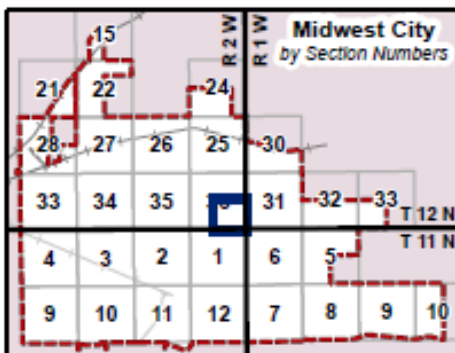
Community Development Director



GIS - Information Technology/ Planning & Zoning



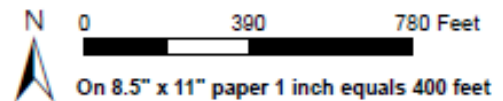
Locator Map



General Map Legend

- Area of Request
- Parcels with Addresses
- Buildings
- Edge of Pavement
- MWC City Limits
- Railroads**
- Active
- Inactive / Closed

**GENERAL MAP  
FOR MP-33  
(SE/4, Sec. 36, T12N, R2W)**

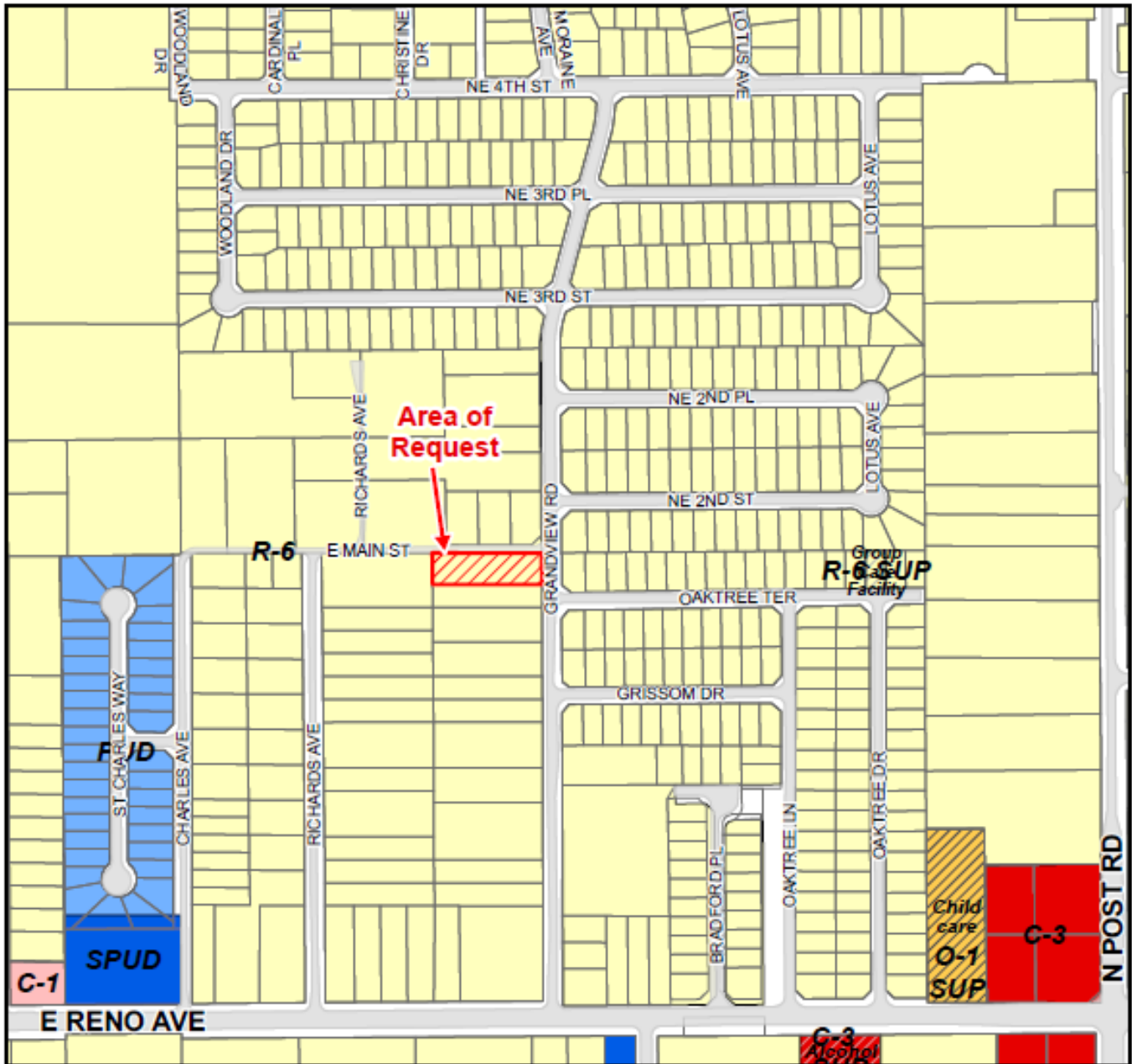


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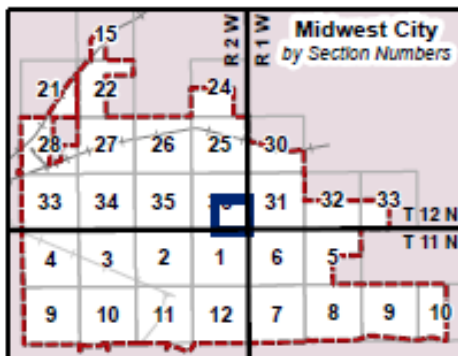
Created on May 18, 2026 using ArcPY script - MP-33



GIS - Information Technology/ Planning & Zoning



Locator Map



Current Zoning Legend

A-1	O-1	R-HD
A-1 SUP	O-1 SUP	R-HD SUP
C-1	O-2	R-MH-1
C-1 SUP	O-2 SUP	R-MH-2
C-2	R-6	PUD
C-3	R-6 SUP	SPUD
C-3 SUP	R-8	HOS
C-4	R-10	HOS SUP
C-4 SUP	R-22	
I-1	R-35	
I-2	R-3F	
I-2 SUP	R-MD	
I-3	R-MD SUP	

### ZONING MAP FOR MP-33 (SE/4, Sec. 36, T12N, R2W)



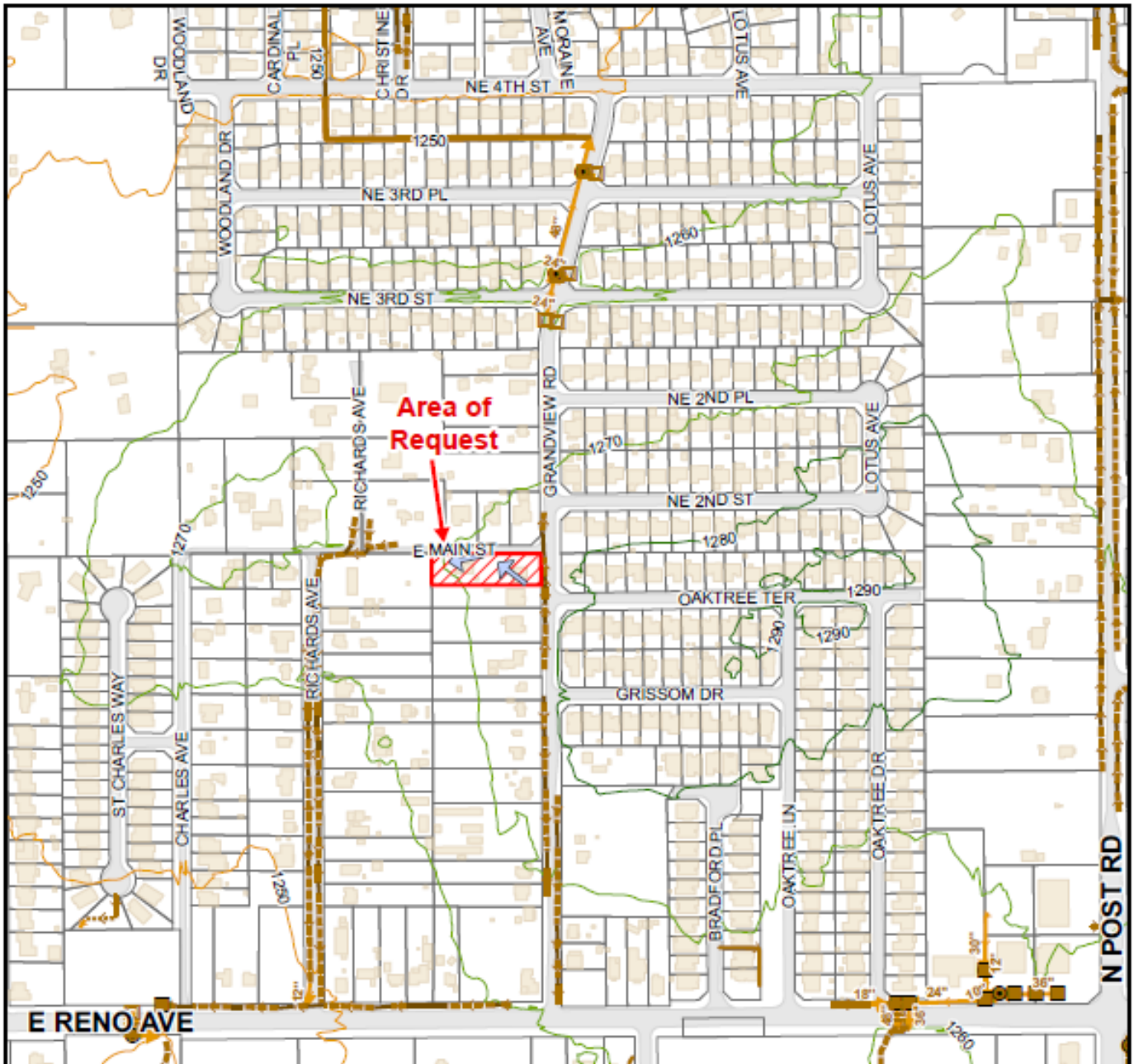
On 8.5" x 11" paper 1 inch equals 400 feet

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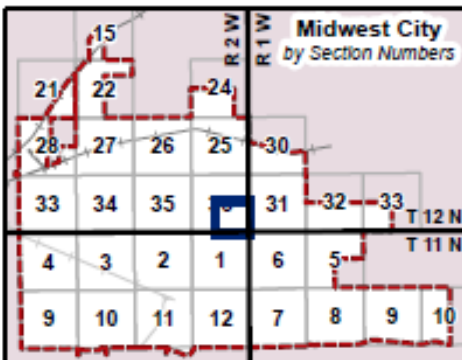
Created on May 18, 2026 using ArcPY script - MP-33



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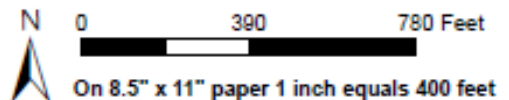
Locator Map



Drainage Legend

- Curb Inlets
  - Inlets
  - Junction Box
  - Culverts
  - Flumes
  - Developed Channels
  - Trickle Channels
  - Undeveloped Channels
  - Storm Lines
  - Creeks
  - 2009 FEMA Floodplains
  - 500-yr floodplain
  - 100-yr floodplain
  - Floodway
- Contours**
- 1166-1204 ft
  - 1204-1228 ft
  - 1228-1250 ft
  - 1250-1278 ft
  - 1278-1324 ft
- Magnitude**
- <2"
  - 3-5"
  - 6-10"
  - 11-20"

### DRAINAGE MAP FOR MP-33 (SE/4, Sec 6, T11N, R1W)

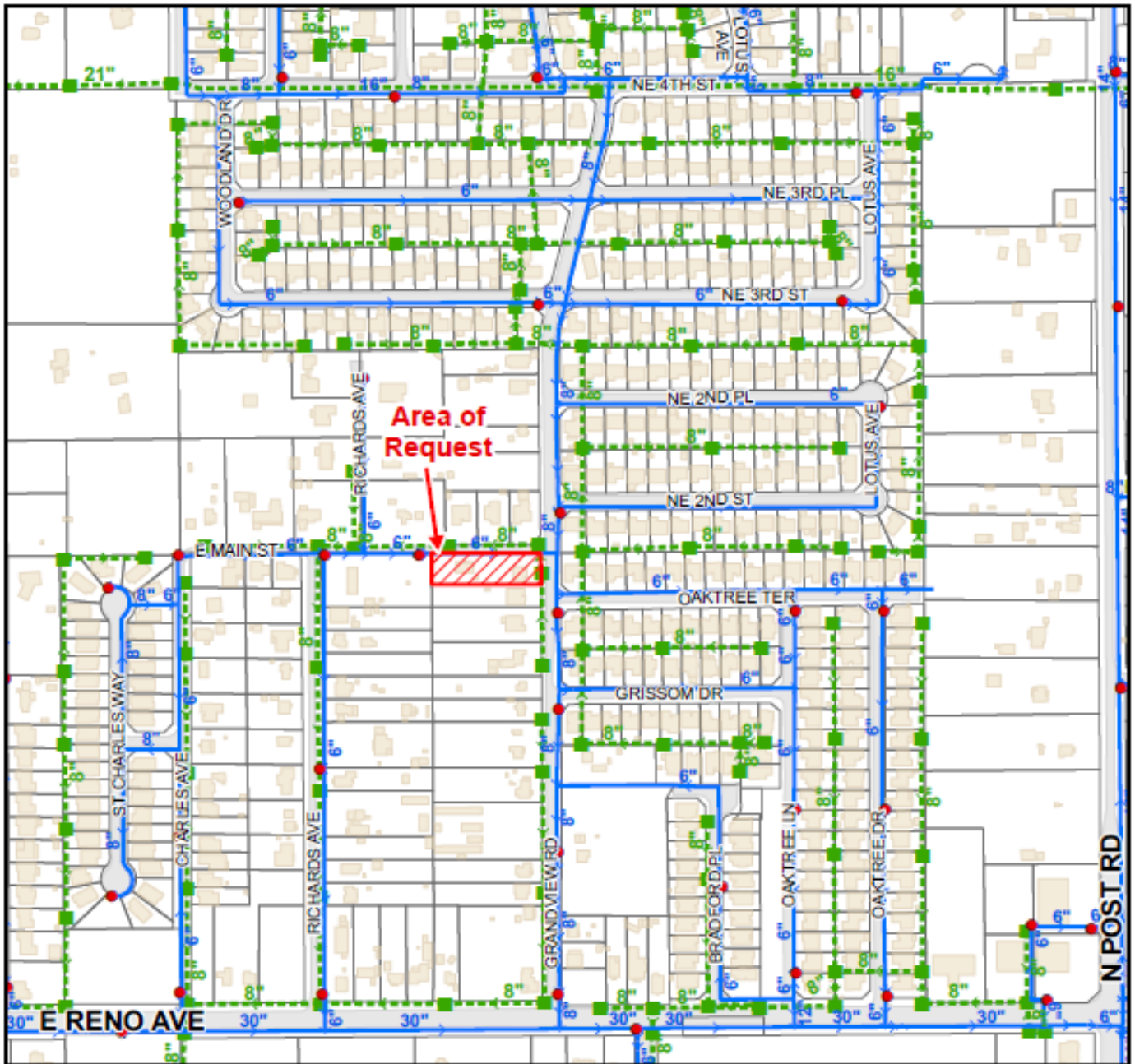


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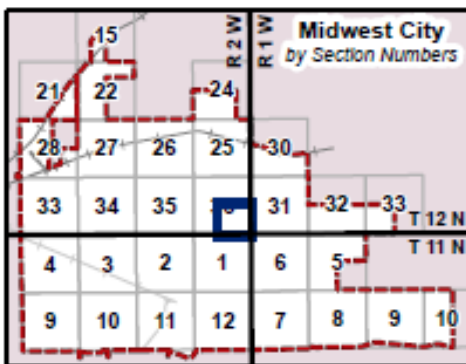
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GIS - Information Technology/ Planning & Zoning



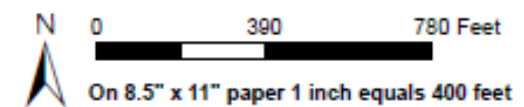
Locator Map



**Water/Sewer Legend**

- Fire Hydrants
- Water Lines**
- Distribution
- Well
- OKC Cross Country
- Sooner Utilities
- Thunderbird
- Unknown
- Sewer Manholes
- Sewer Lines

**WATER SEWER MAP  
FOR MP-33  
(SE/4, Sec. 36, T12N, R2W)**



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Created on May 18, 2026 using ArcPY script - MP-33





Community Development Department  
100 N. Midwest Blvd, Midwest City, OK

---

To: Honorable Mayor and Council  
From: Matt Summers, Community Development Director  
Date: June 23, 2026  
Subject: (CA-83) Discussion, consideration, and possible action to consider approval of an alteration of the concrete median on Warren Drive. (Ward 1)

---

**Applicant:** Jason Dennis, BOK Financial

**Consultant:** Jackson Emery PE, Wallace Design Collective

Bank of Oklahoma is seeking approval to alter the concrete median on Warren Drive, south of SE 15<sup>th</sup> Street. The applicant is working on plans for a new branch at the southwest corner of the intersection of SE 15<sup>th</sup> Street and Warren Drive. The applicant is proposing to remove a section of the median to allow better traffic flow into and out of their new bank branch.

Attached are two exhibits showing the project site and the proposed alteration of the median.

The Fire Marshal's Office, Engineering, and Planning have reviewed this request and have no objections. If approved by City Council, the applicant would be responsible for providing the Engineering Department with construction plans for approval and complying with all permitting and bonding requirements of Midwest City prior to any construction in the public right-of-way.

**Action Required:** Approve or reject the proposed alteration of the public right-of-way for Warren Drive as depicted on the attached exhibits.

Matt Summers, AICP  
Community Development Director



SE 15TH STREET

BANK OF OKLAHOMA SITE

PROPOSED MEDIAN CUT

WARREN DRIVE

MATCH SIMILAR

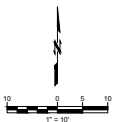


wallace  
design  
collective

BANK OF OKLAHOMA  
MIDWEST CITY  
COUNCIL ACTION EXHIBIT  
6/4/2026

MEDIAN CUT WOULD:  
ENABLE LEFT TURN IN AND OUT OF THE BANK SITE  
ENABLE LEFT TURN AND CROSS ACCESS TO EAST  
SHOPPING CENTER  
IMPROVE CIRCULATION IN THE AREA

SE 15TH STREET



**BENCHMARKS:**

BENCHMARKS PER TOPOGRAPHIC SURVEY COMPLETED BY GOLDEN LAND SURVEYING DATED JUNE 21, 2024.

BENCHMARK 1 MAG NAIL ELEV: 1216.882 N: 164175.691 E: 2141032.896	BENCHMARK 2 MAG NAIL ELEV: 1223.544 N: 164166.026 E: 2141025.644	BENCHMARK 3 MAG NAIL ELEV: 1221.331 N: 163989.884 E: 2141438.278
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BENCHMARK 4  
MAG NAIL  
ELEV: 1209.372  
N: 163487.905  
E: 2141114.166

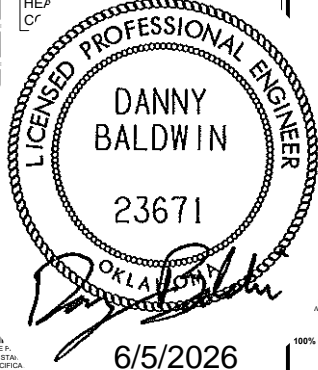
**LEGEND**

	HEAVY DUTY CONCRETE PAVEMENT RE: 5/C800
	STANDARD DUTY CONCRETE RE: 5/C800
	REINFORCED CONCRETE PAD RE: 5/C800
	CONCRETE SIDEWALK RE: 11/C800
	RIP RAP RE: 25/C801
	STANDARD DUTY ASPHALT RE: 5/C800
	HEAVY DUTY ASPHALT RE: 5/C800

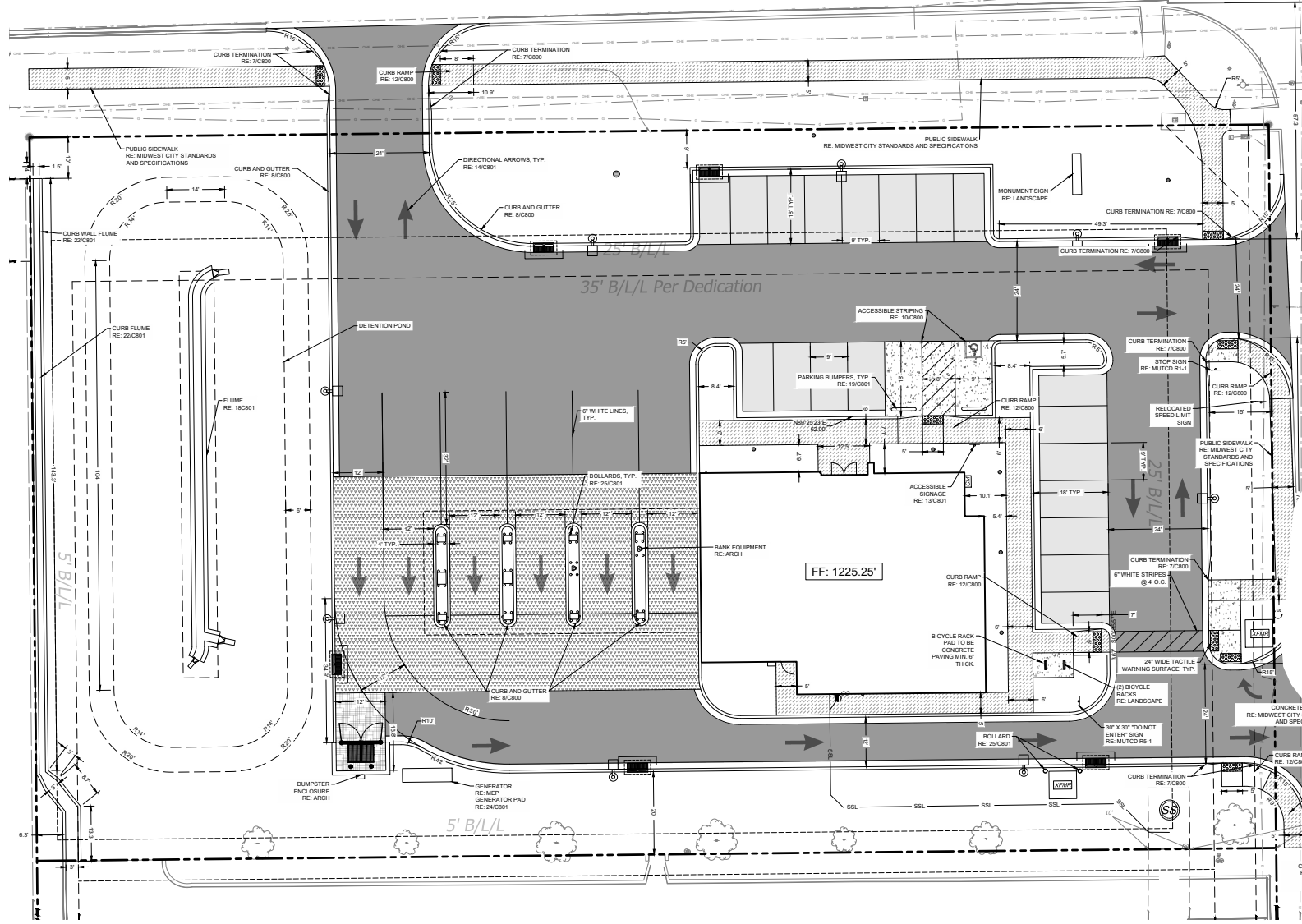
**PARKING SUMMARY**

REQUIRED PARKING:	
1 SPACE PER 150 SF:	3116 / 150 = 21
PROVIDED PARKING:	
STANDARD:	20
ACCESSIBLE:	0
VAN ACCESSIBLE:	1
TOTAL PROVIDED PARKING:	21

ADD ALTERNATE #1: SUBSTITUTE ALL HEAVY DUTY AND STANDARD DUTY ASPHALT WITH HEAVY DUTY ASPHALT



6/5/2026



**CAUTION**  
NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.



narrate

walace design collective

Walace Design Collective, Inc.  
12200 North Lincoln Avenue  
Suite 1000  
Tulsa, Oklahoma 74125  
Tel: 918.438.8888  
www.wallacedesign.com

OKLAHOMA  
SOCIAL CENTER  
3524 SE 15TH STREET  
WEST CITY, OKLAHOMA  
73110

100% PRODUCTION DOCUMENTS  
06.05.2026

PROJECT NO.  
25.088  
DRAWN BY  
TM  
CHECKED BY  
DWB  
DATE PLOTTED  
SITE PLAN

C400

**To:** Honorable Mayor and Council

**From:** Matt Summers, Community Development Director

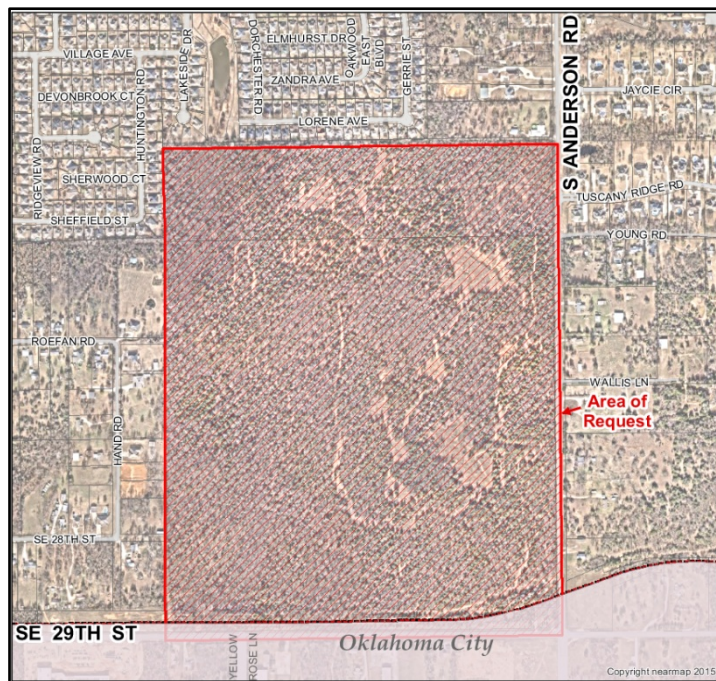
**Date:** June 23, 2026

**Subject:** (PC-2238) Public hearing, discussion, consideration, and possible action on an ordinance to amend the zoning map from R-6 to PUD for the property described as a tract of land being a part of the East Half (E/2) of Section Eight (8), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Oklahoma County Oklahoma. (Ward 6)

**Executive Summary:** The applicant is requesting the subject property be rezoned from R-6 to PUD. The site is approximately 201.68 acres in size and is located at the northwest corner of the intersection of SE 29<sup>th</sup> Street and S. Anderson Rd.

If approved, the master plan shall be adopted for the subject property, and will include: the Design Statement, Site Plan, Generative Design Guidelines, and Masterplan Development Handbook.

The proposed development is a mixed-use development consisting of mostly residential uses. It offers a wide variety of residential uses, open and park spaces, as well as some live-work units. The development proposes an internal transportation network with a high level of multi-modal connectivity.



Both state and local notification requirements were met. Staff has received phone calls and emails about this application. Staff has also met with nearby property owners on several occasions to discuss this application. Concerns expressed by nearby property owners were mostly related to traffic congestions and development density. The Applicant's consultants have also met with several surrounding neighborhood associations and have maintained communications with nearby property owners.

At the public hearing before the Planning Commission, nearby property owners inquired about buffering/screening, neighborhood entrance locations, stormwater detention/drainage, traffic, and residential density. The Planning Commission unanimously recommended approval of this application.

Action is at the discretion of City Council.

**Dates of Hearing:**

Planning Commission- June 2, 2026

City Council- June 23, 2026

**Pre-Application Meeting Date:**

August 21, 2025

**Council Ward:** Ward 6, Rick Favors

**Owner:** Builders Collective, LLC and EASTOC, LLC

**Applicant:** Johnson & Associates on behalf of Builders Collective, LLC and EASTOC, LLC

**Proposed Use:** Mixed-Use

**Size:** 201.68 Acres, more or less.

**Development Proposed by Comprehensive Plan:**

Area of Request: Estate Residential / Special Planning Area  
North: Estate Residential / Neighborhood Low Density  
South: City of OKC  
East: Estate Residential  
West: Estate Residential

**Zoning Districts:**

Area of Request: R-6 (pending PUD application PC-2238)  
North: R-6  
South: City of OKC  
East: R-6  
West: R-6

**Land Use:**

Area of Request: Undeveloped  
North: Single-Family Residential  
South: City of OKC  
East: Single-Family Residential  
West: Single-Family Residential

**Municipal Code Citation:**

2.25. PUD, Planned Unit Development

2.25.1. *General Provisions.* The planned unit development, herein referred to as PUD, is a special zoning district category that provides an alternate approach to conventional land use controls to produce unique, creative, progressive, or quality land developments.

The PUD may be used for particular tracts or parcels of land that are under common ownership and are to be developed as one unit according to a master development plan.

The PUD is subject to special review procedures within [7.3](#) PUD Application and Review (Page 174), and once approved by the City Council it becomes a special zoning classification for the property it represents.

2.25.2. *Intent and Purpose.* The intent and purpose of the planned unit development provisions are as follows:

- (A) *Innovative land development.* Encourage innovative land development while maintaining appropriate limitations on the character and intensity of use, assuring compatibility with adjoining and proximate properties, and following the guidelines of the Comprehensive Plan.
- (B) *Flexibility within developments.* Permit flexibility within the development to maximize the unique physical features of the particular site.
- (C) *Efficient use of land.* Encourage efficient use of land, facilitate economic arrangement of buildings and circulation systems, and encourage diversified living environments and land uses.
- (D) *Function, design, and diversity.* Achieve a continuity of function and design within the development and encourage diversified living environments and land uses.
- (E) *Modifications to development requirements.* Provide a vehicle for negotiating modifications in standard development requirements in order to both encourage innovative development and protect the health, safety and welfare of the community.

### **Comprehensive Plan Citation**

The Future Land Use designation for the subject property is Estate Residential and Special Planning Area. Regarding Special Planning Areas, the Comprehensive Plan states, “In instances where development patterns do not currently exist within an identified Special Planning Area, such as the Three Sisters Property, the City has the opportunity to pursue catalytic projects via public-private partnerships. Master planning efforts in these areas can enable the City to set the standards for development patterns in these areas.”

### **History:**

1. Most of the subject property was zoned R-6 with the Zoning Regulations update in 2010 (PC-1729).
2. A part of the northern portion of the subject property was zoned R-6 in February 2020 (PC-2028).

### **Next Steps:**

If Council approves this rezoning application and the related preliminary plat, the Applicant can proceed with the seeking construction plan approval.

### **Staff Comments-**

*There are numerous construction requirement references made in the Engineering, Fire Marshal, and Public Works portions of this report. The intent of the Municipal Code is to directly involve the Applicant in continued community development activities such as extending public sewer and water and making street improvements, for example. This is a rezoning application, and the construction references are provided to make the Applicant and subsequent developers of this property aware of their applicability as they relate to the future development or redevelopment of this property.*

### **Engineering Staff Comments:**

Note: No engineering improvements are required with this application.

### **Water Supply and Distribution**

There are public water mains bordering the proposed parcel, twelve (12) inch lines running along the north side of S.E. 29th Street and the west side of Anderson Road. The applicant is proposing public water main extensions throughout the development serving all of the proposed lots within the PUD. The PUD proposes placing public water mains under the proposed streets which deviates from the normal water main placement in

previous developments. Any new building permit will require tying to the public water system as outlined in Municipal Code 43-32.

#### Sanitary Sewerage Collection and Disposal

There is an eight (8) inch public sanitary sewer main located in an existing utility easement located adjacent to the north property line of the proposed PUD. The applicant is proposing public sewer main extensions throughout the development serving all of the proposed lots within the PUD. The PUD proposes placing public sewer mains under the proposed streets which deviates from the normal sewer main placement in previous developments.

Any new building permit will require tying into the public sewer system as outlined in Municipal Code 43-109.

#### Streets and Sidewalks

Access to the parcel is from S.E. 29th Street and Anderson Road. S.E. 29th Street is classified as a primary arterial in the 2008 Comprehensive Plan. Anderson Road is classified as a secondary arterial in the 2008 Comprehensive Plan. The applicant is proposing public street improvements throughout the development serving all of the proposed lots within the PUD. The PUD proposes a twenty (20) foot wide standard road section which deviates from the standard local road width of twenty six (26) feet.

The applicant has provided a traffic study to determine the future impacts the proposed development will have on the adjacent arterial roads S.E. 29th Street and Anderson Road. The development will increase average daily traffic numbers over time and are factored into the five and ten year projections. The projected increases do not exceed the design capacity of the two arterial roads and will not create the need for future widening projects.

#### Drainage and Flood Control, Wetlands, and Sediment Control

The area of request is shown to be in a Special Flood Hazard Area impacted by the 100 year floodplain and floodway on Flood Insurance Rate Map (FIRM) number 40109C0330H, dated December 18th, 2009. All building permits must meet the minimum design standards outlined in the floodplain development regulations. Choctaw Creek crosses the west side of the site flowing from the south to the north.

Public drainage and detention improvements are not required as part of this application.

The applicant has proposed to construct common detention ponds to collect most of the onsite runoff. The proposed paving and storm inlets will collect the surface runoff and carry it to the detention facility. The detention pond outlets will discharge runoff through a restrictive structures that will eventually convey the water to the Choctaw Creek watershed. The proposed detention pond will create a net decrease in the flow rate of the water flowing to the City's downstream existing infrastructure. The PUD proposes placing public storm sewer mains under the proposed streets which deviates from the normal storm sewer main placement in previous developments.

#### Easements and Right-of-Way

No further easements or right of way would be required with this application.

The PUD proposes a forty five (45) foot wide standard right of way section which deviates from the standard subdivision width of fifty (50) feet.

**Fire Marshal's Comments:**

**Emergency Access Roads**

All new commercial construction, gated communities, and business in the city shall provide an approved emergency rapid access device or key box. Access and operational standards for controlled access gates and gated subdivisions shall meet the requirements set forth in Midwest City Ordinance Sec. 15-26 (IFC 506)

Multiple family residential projects having more than 100 dwelling units shall be equipped throughout with a minimum of two separate and approved fire apparatus access roads. IFC D106.

Fire apparatus access roads shall be installed and arranged in accordance with Sections 503.2.1 through 503.2.8. (2018 IFC Sec 503.2).

- Unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches.
- Turning radius is required to meet the parameters of the 95' Sidestacker platform apparatus (Turning radius document attached to the PC Case Files).
- Dead-Ends exceeding 150 feet in length shall be provided with an approved area for turning around fire apparatus.

**Midwest City Ordinance Section 15-22 – Location of Hydrants**

- (b) Fire hydrants shall be located and so spaced that no hose lay from a fire apparatus exceeds five hundred (500) feet within areas containing one- and two-family detached dwellings.
- (c) In all areas except those containing only one- and two-family detached dwellings, fire hydrants shall be located in such a manner that no hose line will exceed four hundred (400) feet in length to reach any accessible portion of the exterior of any building and is dependent on the ability to place an apparatus in such a manner necessary to utilize said hydrant. Distance shall be measured by the lay of the hose, not by line of sight.
- (d) Within all other areas, including but not limited to, mercantile, business, educational, assembly, detention and correctional, health care, storage, industrial and multifamily dwellings, the maximum spacing shall be no more than four hundred (400) feet. Buildings of noncombustible or limited combustibility construction, protected by a complete automatic sprinkler system and classified by NFPA 13 as "Light or Ordinary Hazard" may be protected by fire hydrants located with a maximum spacing of five hundred (500) feet. Distance shall be measured by the lay of the hose, not by line of sight.
- (e) In areas of commercial development, fire hydrants shall be located in a sufficient number and manner to supply the required flow, per the adopted edition of International Fire Code requirements, for a structure and its exposures or supply adequate water for the fire sprinkler system.

Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1).

Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.

Fire apparatus access roads shall not exceed 10 percent in grade.

**Planning Division:**

Staff met with the Applicant on August 21, 2025, for a pre-application meeting and December 30, 2025, for a Site Plan Review Team meeting.

Long Range Plans:

This application is supported by the Comprehensive Plan and the Trails Master Plan. The Comprehensive Plan recommends the site be master planned to set the standards for development. If this application to rezone the site to PUD is approved, the Master Plan would become enforceable for the subject property.

The Trails Master Plan adopted in 2009 calls for the ability to have bicycle & pedestrian access in both an east-west direction across the subject property, and in a north-south direction following the creek.

PUD Master Plan:

For this application, there are two (2) documents that make up the Master Plan. These are the Design Statement and the Site Plan.

The Site Plan shows larger lots (10,000 sq. ft. minimum) located along the northern, eastern, and southern boundaries of the subject property. There are areas shown along the arterial road frontages for thoroughfare screening and buffering. Much of the western boundary is intended to be preserved in its current state along the creek. The interior of the site is planned for a wide variety of residential types. Internal to the site, some space would also be used for limited commercial uses in a village style arrangement. There are also numerous areas proposed to be set aside for open space or parks to be maintained privately.

The Design Statement describes the concept for the development in section 6.0. It is described as a “vibrant people-first, mixed-use, neighborhood that incorporates a variety of housing types along with supporting uses... Modeled on the traditional village pattern, the master plan includes a mix of densities ranging from single family detached abutting the arterial street frontage with more dense urban village centers on the interior of the development.”

Tract 1, as described by Exhibit C of the Master Plan, is proposed to allow the use categories listed in section 8.1.1 of the Design Statement. These lots will have a 10 ft. front setback maximum to ensure houses are constructed in a manner to hold the edge of the public realm (the public or private right of way) and create a more walkable environment. Lots in this section would have a minimum size of 10,000 square feet, which would be some of the largest lots on public sewer developed in Midwest City since the Zoning Regulations were rewritten in 2010.

Tract 2 is proposed to allow a greater variety of housing types and some restricted commercial uses, while prohibiting garden style apartments. Setbacks for this section of the development are proposed to be allowed to be the minimum required by the building and fire code. This is necessary to create the pedestrian-oriented village style development envisioned for the project.

In Section 9.1, the Master Plan proposes architectural design guidelines, sign regulations, lighting regulations, and landscaping requirements for the development well in excess of those required by the Zoning Regulations. In order to alleviate the potential burden on staff time required to review applications within this development, the applicant proposes the creation of an Architectural Review Board to review and approve all proposed building design, modifications, and landscaping. A letter from this board will be submitted with each building permit, noting compliance.

Section 9.4 of the Design Statement requires a buffer/easement of not less than 24 feet, containing existing vegetation, to be maintained along the PUD boundaries. It goes on to also describe the buffer/easement along Anderson Road and SE 29<sup>th</sup> Street as being not less than 37 feet and 24 feet respectively, and will contain thoroughfare screening as required by the Subdivision Regulations.

Section 9.9 establishes the parking regulations for this district. There will not be any parking minimums within the PUD, however the Master Plan for this application contains more than enough space for vehicles to be safely parked. Pervious paving will be allowed for parking areas, driveways, pathways, and plazas, subject to Public Works approval.

The PUD proposes preserving more than 49 acres of open space. Much of this area will be along the western side of the development along the creek. Throughout the development parks and other open spaces are proposed. As part of the separate Preliminary Plat application, the Parkland Review Committee recommended setting aside privately maintained open space, and the Parks and Recreation Board recommended approval of the general locations of the open spaces for this project. These areas are highlighted in Exhibit F.

The Generative Design Guidelines for the PUD provide a lot of insight into the types of uses proposed for the subject property. The table below summarizes the number of different units proposed with this development. For a description, and images of these unit types, please refer to the Generative Design Guidelines pages 16 through 35.

Type of Lot / Unit	Number
<b>Village Courtyard Lots</b>	337
<b>¼ Acre Lots</b>	148
<b>Inner-block Lots</b>	188
<b>Hofje Units</b>	144
<b>Live Work Units</b>	28
<b>Ground Floor Commercial (13 Buildings)</b>	13 Buildings (total 32,260 square feet)

Analysis:

The subject property is one of the last, large, undeveloped sites in Midwest City. The base plan for this site on the Future Land Use Map is for Estate Residential. The designation of the site also as a Special Planning Area was added intentionally to leave room in the event a developer proposed a unique idea to master plan the site into an innovative development. This application represents such a development. In reviewing this application, it satisfies the intent and purpose of the Planned Unit Development as described in Section 2.25.2 of the Zoning Regulations.

The subject property is 201 acres in size and is currently zoned R-6. It could be developed as a residential development with lots as small as 6,000 square feet. There are 845 dwelling units proposed by this PUD. This represents a gross density of 4.2 units per acre. For reference, the R-6 (Single-Family Detached Residential) district is designed to yield a gross density of 5.1 units per acre. The proposed development would have lower density than is allowed today by right.

The proposed large lots around the northern, eastern, and southern sides of the subject property will match the character of the existing developments in this part of Midwest City. These lots will all be at least 10,000 square feet in size, are planned for single-family detached residences, and have landscaping buffers between them and adjoining developments or roadways. The direct impacts to adjoining properties from a land-use perspective would be minimal. The expected noise, odor, light, and other potential impacts would match the existing surrounding uses.

Given that the subject property could be developed into 6,000 sq. ft. lots by following the platting procedure, the proposed 10,000 sq. ft. lots would be an improvement to adjoining property owners. Additionally, the design requirements the PUD would impose on buildings for this development far exceed those contained within the Zoning Regulations in Section 5.12.

The uses proposed on the interior of the development are also largely residential in nature and should not have odor, noise, light flashes, or other impacts that would be noticed by adjoining properties due to use patterns and distance.

The PUD application proposes placing the utilities under the roadways for this development. While this requires approval as part of the PUD, it is a pattern of development used in other communities. In this instance it is proposed to facilitate the environment envisioned as part of the PUD. Staff supports locating the utilities under the roadway and has begun exploring an ordinance change that would allow property owners within the development to bear the cost of any increased costs due to the utility location.

The Applicant supplied a traffic impact study stamped by an engineer licensed in the State of Oklahoma. This analysis demonstrates that the impacts from this development, at full buildout, would not cause the intersection at S. Anderson Road and SE 29<sup>th</sup> Street to fall below an acceptable level of service (Traffic Impact Study, page 8). The analysis does show that projected traffic increases in the area (“background traffic”) would make the intersection fall below an acceptable level of service in 2036.

In summary, this rezoning application is supported by the Comprehensive Plan and Trail Master Plan. This application represents a unique opportunity to develop a truly special mixed-use development within Midwest City. The potential impacts to adjoining properties from the proposed uses are minimal, because the majority of the proposed uses are residential and at a density comparable to what the site is already approved for. The development will have impacts on the surrounding road network, but the adjacent intersection of S. Anderson Road and SE 29<sup>th</sup> Street as well as the proposed street intersections will operate at acceptable levels.

Action is at the discretion of City Council.

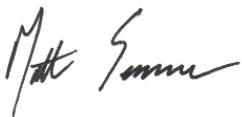
#### **Action Required**

Approve or reject the ordinance to amend the zoning map from R-6 to PUD (Planned Unit Development) governed by the R-6, R-HD, and C-1 districts for the property noted herein, subject to staff comments as found in the June 23, 2026, City Council agenda packet and made part of the PC-2238 file.

#### **Suggested Motion:**

***“To approve the ordinance to amend the zoning map to Planned Unit Development (PUD) for the subject property, subject to staff comments as found in the June 23, 2026, City Council agenda packet and made part of the PC-2238 file.”***

Please feel free to contact the Community Development Department at (405) 739-1228 with any questions.

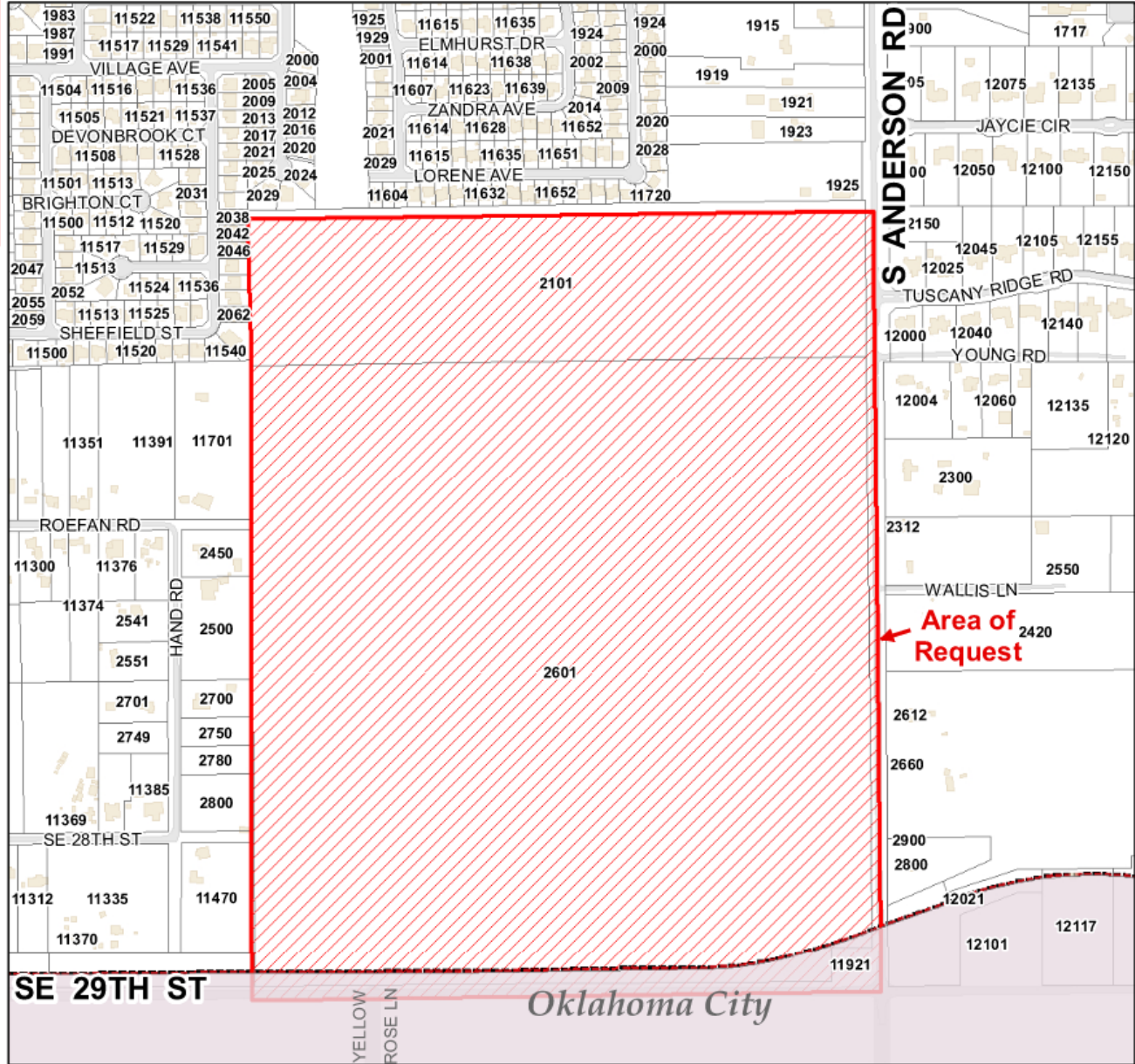


Matt Summers, AICP

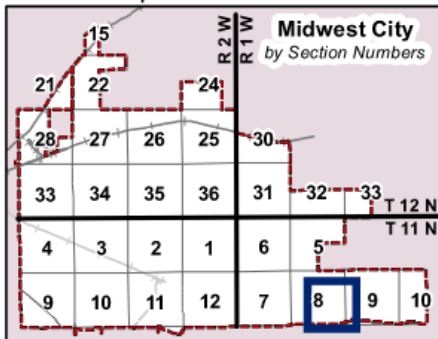
Community Development Director



GIS- Information Technology/ Planning & Zoning



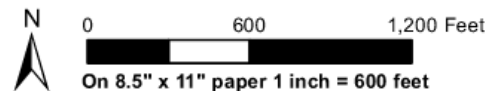
Locator Map



**General Map Legend**

- Area of Request
- Parcels with Addresses
- Buildings
- Edge of Pavement
- MWC City Limits
- Railroads**
- Active
- Inactive / Closed

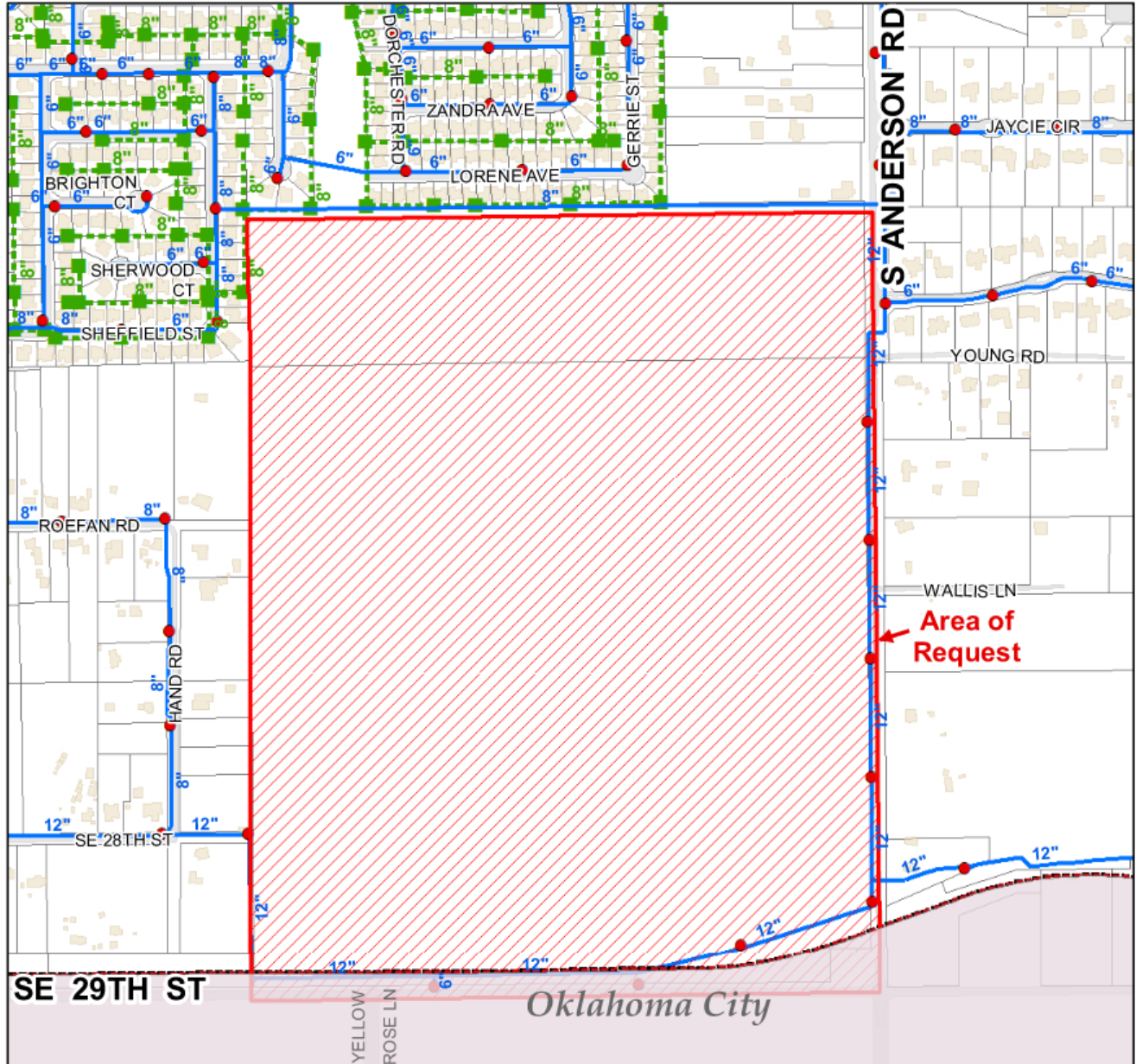
**GENERAL MAP FOR  
PC-2238 & PC-2239  
(SE/4, Sec 8, T11N, R1W)**



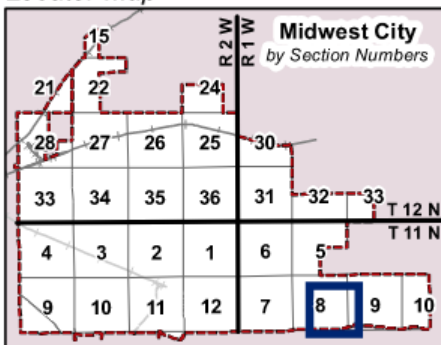
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GIS- Information Technology/ Planning & Zoning



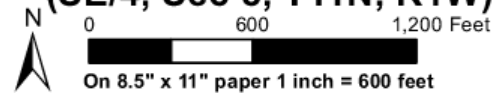
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- Sewer Manholes
- Sewer Lines

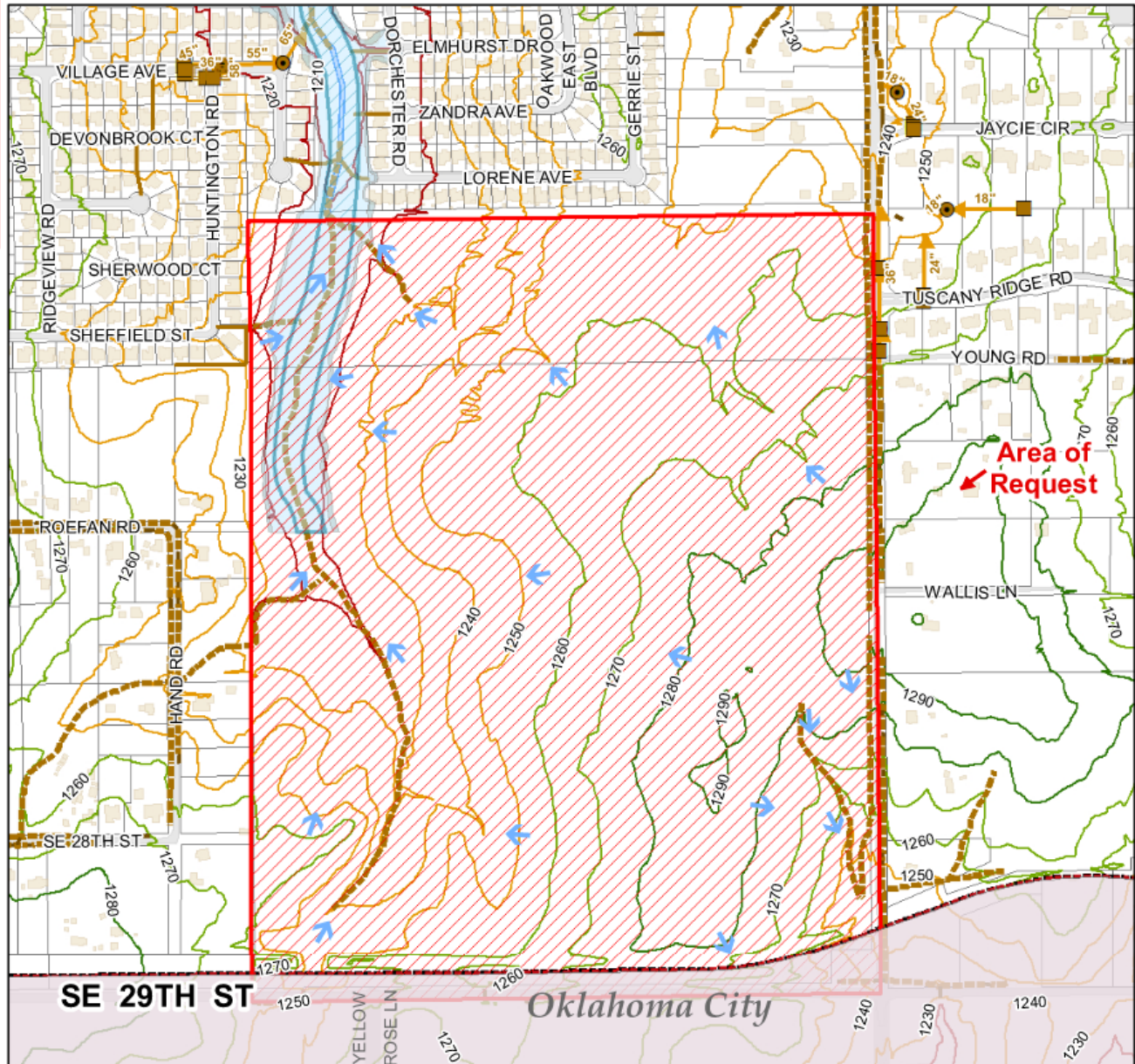
### WATER/SEWER LINE LOCATION MAP FOR PC-2238 & PC-2239 (SE/4, Sec 8, T11N, R1W)



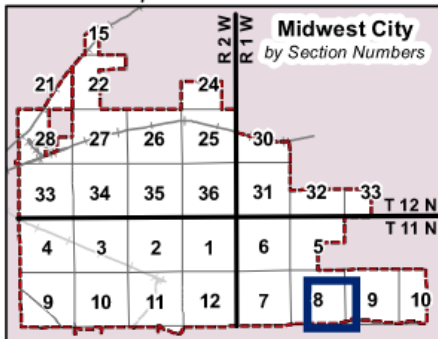
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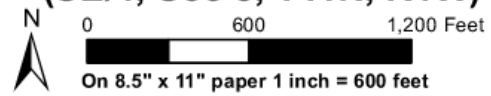
Locator Map



- Drainage Legend**
- Curb Inlets
  - Inlets
  - Junction Box
  - Culverts
  - Flumes
  - Developed Channels
  - Trickle Channels
  - Undeveloped Channels
  - Storm Lines
  - Creeks
- ELEVATION**
- 1166-1204 ft
  - 1204-1228 ft
  - 1228-1250 ft
  - 1250-1278 ft
  - 1278-1324 ft

- 2009 FEMA Floodplains**
- 500-yr floodplain
  - 100-yr floodplain
  - 2009 FEMA Floodway
  - FLOODWAY
  - Drainage

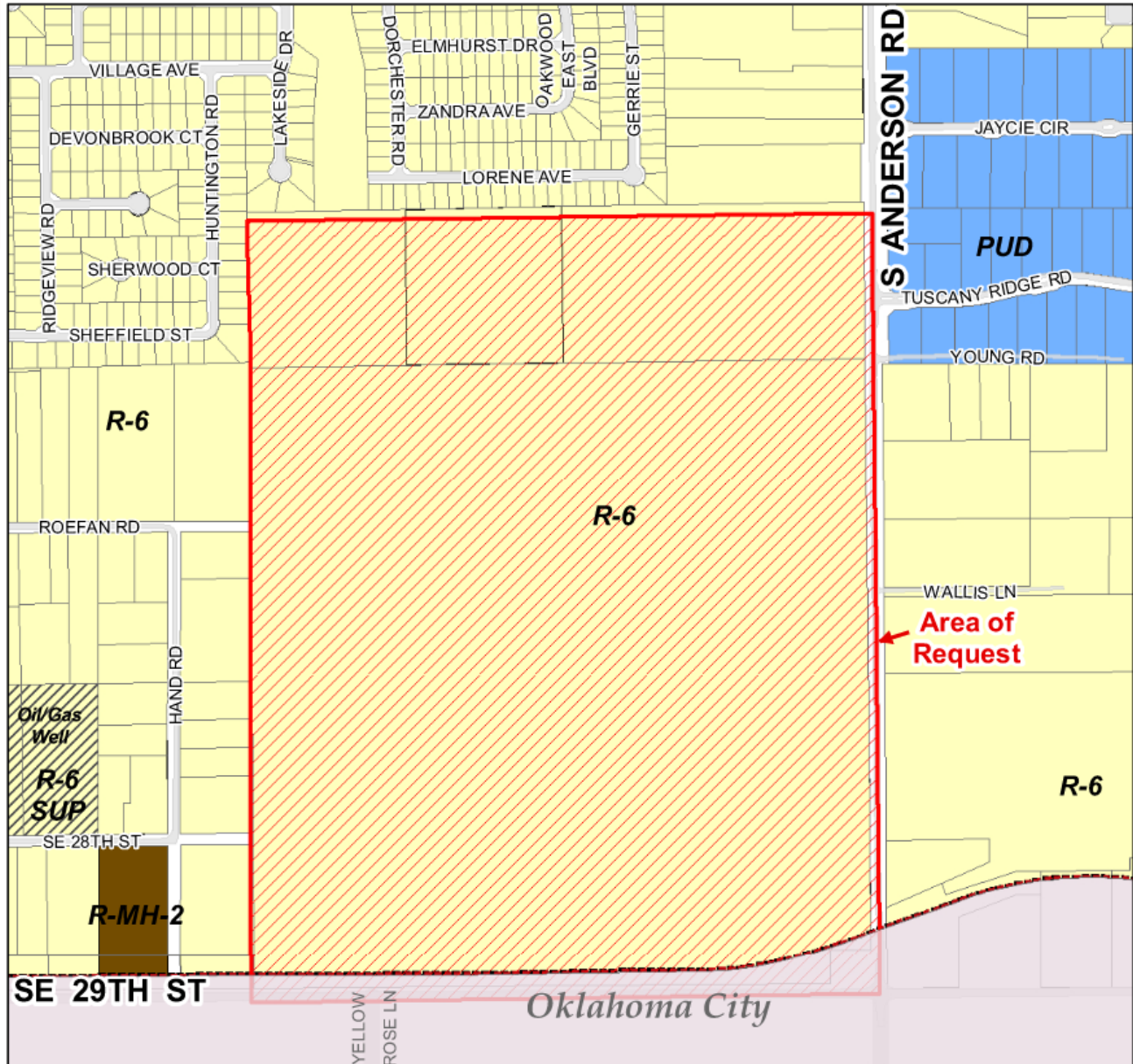
### DRAINAGE LOCATION MAP FOR PC-2238 & PC-2239 (SE/4, Sec 8, T11N, R1W)



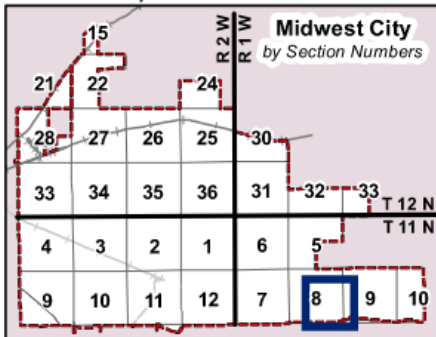
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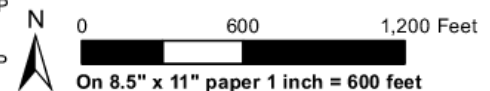
Locator Map



Current Zoning Legend

A-1	I-2 SUP	R-35
A-1 SUP	I-3	R-2F
C-1	O-1	R-MD
C-1 SUP	O-1 SUP	R-MD SUP
C-2	O-2	R-HD
C-3	O-2 SUP	R-HD SUP
C-3 SUP	R-6	R-MH-1
C-4	R-6 SUP	R-MH-2
C-4 SUP	R-8	PUD
I-1	R-10	SPUD
I-2	R-22	HOS
		HOS SUP

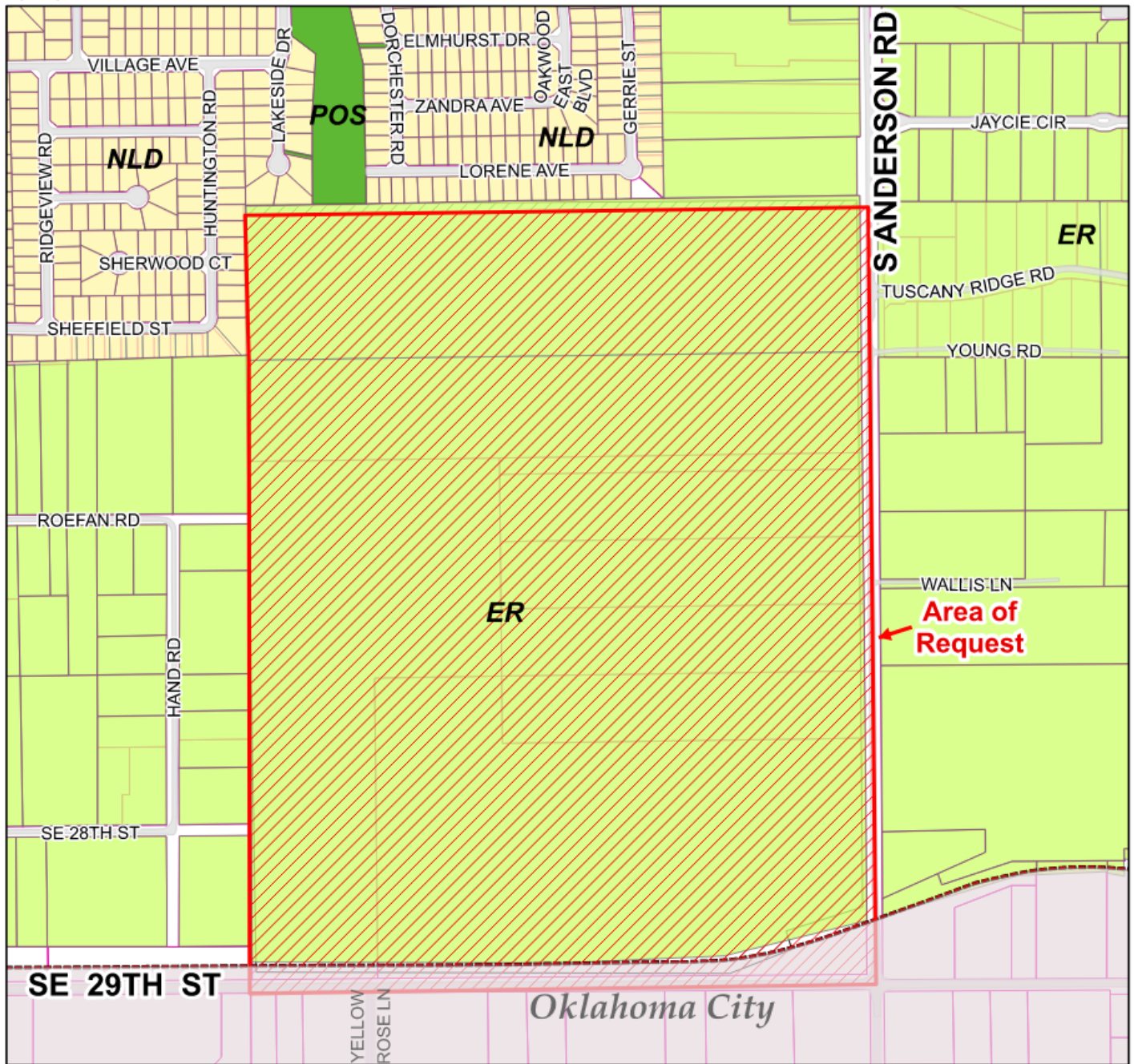
**ZONING MAP FOR  
PC-2238 & PC-2239  
(SE/4, Sec 8, T11N, R1W)**



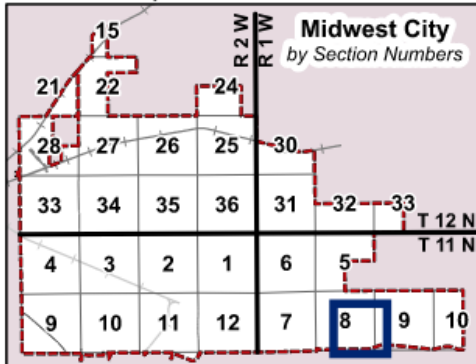
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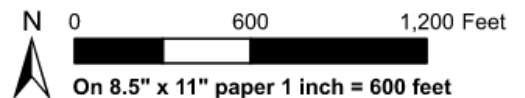
Locator Map



Future Land Use Legend

- Estate Residential
- Neighborhood Low Density
- Neighborhood Med to High Density
- Mixed Use
- Local Commercial
- Regional Commercial
- Industrial
- Public/Semi-Public
- Parks/Open Space
- SpecialPlanningAreas2026

### FUTURE LAND USE MAP FOR PC-2238 & PC-2239 (SE/4, Sec 8, T11N, R1W)



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1 **PC-2238**

2 **ORDINANCE NO. \_\_\_\_\_**

3 **AN ORDINANCE RECLASSIFYING THE ZONING DISTRICT OF THE PROPERTY**  
4 **DESCRIBED IN THIS ORDINANCE FROM R-6, SINGLE-FAMILY DETACHD RESI-**  
5 **DENTIAL DISTRICT TO PUD, PLANNED UNIT DEVELOPMENT AND DIRECTING**  
6 **AMENDMENT OF THE OFFICIAL ZONING DISTRICT MAP TO REFLECT THE RE-**  
7 **CLASSIFICATION OF THE PROPERTY’S ZONING DISTRICT; AND PROVIDING**  
8 **FOR REPEALER AND SEVERABILITY**

9 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF MIDWEST CITY, OKLAHOMA:

10 **ORDINANCE**

11 SECTION 1. That the zoning district of the following described property is hereby reclassified  
12 from R-6, Single-Family Detached Residential District to PUD, Planned Unit Development sub-  
13 ject to the conditions contained in the PC-2238 file, and that the official Zoning District Map  
14 shall be amended to reflect the reclassification of the property’s zoning district as specified in  
15 this ordinance:

16 SEE EXHIBIT A FOR LEGAL DESCRIPTION

17 SECTION 2. That the PUD master plan is adopted for the property described by the legal de-  
18 scription in Section 1. The master plan consists of both a Design Statement and a Master Devel-  
19 opment Plan Map. The master plan is included in this ordinance as Exhibit B. Any modifica-  
20 tions, revisions, or expirations of the PUD master plan will be handled in accordance with Ap-  
21 pendix A of the Midwest City Municipal Code.

22 SECTION 3. REPEALER. All ordinances or parts of ordinances in conflict herewith are  
23 hereby repealed.

24 SECTION 4. SEVERABILITY. If any section, sentence, clause or portion of this ordinance is  
25 for any reason held to be invalid, such decision shall not affect the validity of the remaining por-  
26 tions of the ordinance.

27 PASSED AND APPROVED by the Mayor and Council of the City of Midwest City, Oklahoma,  
28 on the \_\_\_\_\_ day of \_\_\_\_\_, 2026.

29 THE CITY OF MIDWEST CITY, OKLA-  
30 HOMA

31 ATTEST:

32 \_\_\_\_\_  
33 RICHARD R. RICE, Mayor

34 \_\_\_\_\_  
35 SARA HANCOCK, City Clerk

36 APPROVED as to form and legality this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_   
DONALD MAISCH, City Attorney

EXHIBIT A

LEGAL DESCRIPTION

29<sup>th</sup> & Anderson  
Tract 1 Zoning Exhibit

November 26, 2025

A tract of land being a part of the Northeast Quarter (NE/4) and Southeast Quarter (SE/4) of Section Eight (8), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Midwest City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast (SE) Corner of said SE/4;

THENCE North 00°35'03" West, along and with the East line of said SE/4, a distance of 389.00 feet to a point on the Northerly right of way line of The Atchison, Topeka and Santa Fe Railroad Company as recorded in Book 4490, Page 1387, also being the POINT OF BEGINNING;

THENCE along and with said Northerly right of way line of The Atchison, Topeka and Santa Fe Railroad Company the following 6 courses:

1. South 70°58'46" West (Southwesterly record), a distance of 254.00 feet (254 feet record);
2. South 18°25'21" East (Southeasterly record), a distance of 50.00 feet (50 feet record);
3. a non-tangent curve to the right having a radius of 1,911.55 feet, a chord bearing of South 80°01'07" West (Westerly record), a chord length of 561.20 feet and an arc length of 563.24 feet;
4. South 88°27'34" West (Westerly record), a distance of 786.76 feet;
5. North 01°32'26" West (Northerly record), a distance of 50.00 feet (50 feet record);
6. South 88°27'34" West (Westerly record), a distance of 1,095.92 feet (1116 feet record) to a point on the West line of said SE/4;

THENCE North 00°21'38" West, along and with the West line of said SE/4, a distance of 2,447.30 feet to the Northwest (NW) Corner of said SE/4;

THENCE North 00°18'37" West, along and with the West line of said NE/4, a distance of 662.09 feet to the Southwest (SW) Corner of Lot 3 Block 13 of the plat OAKWOOD EAST VILLAGE recorded in Book 53, Page 66;

THENCE North 89°16'09" East, along and with the South line of said OAKWOOD EAST VILLAGE, the South line of the plat OAKWOOD EAST SECTION 2, and the South line of the plat OAKWOOD EAST and its extension, a distance of 2,649.89 feet

Prepared by Matthew Johnson P.L.S. 1807

Johnson & Associates

Certificate of Authorization No. 1484 (Expires 6-30-27)

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to a point on East line of said NE/4;

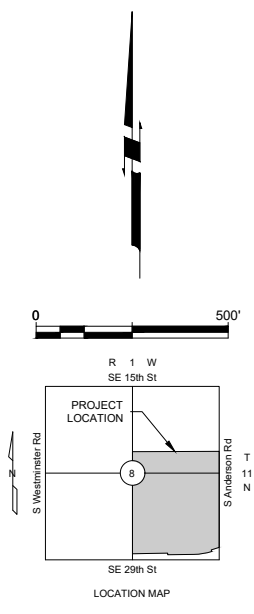
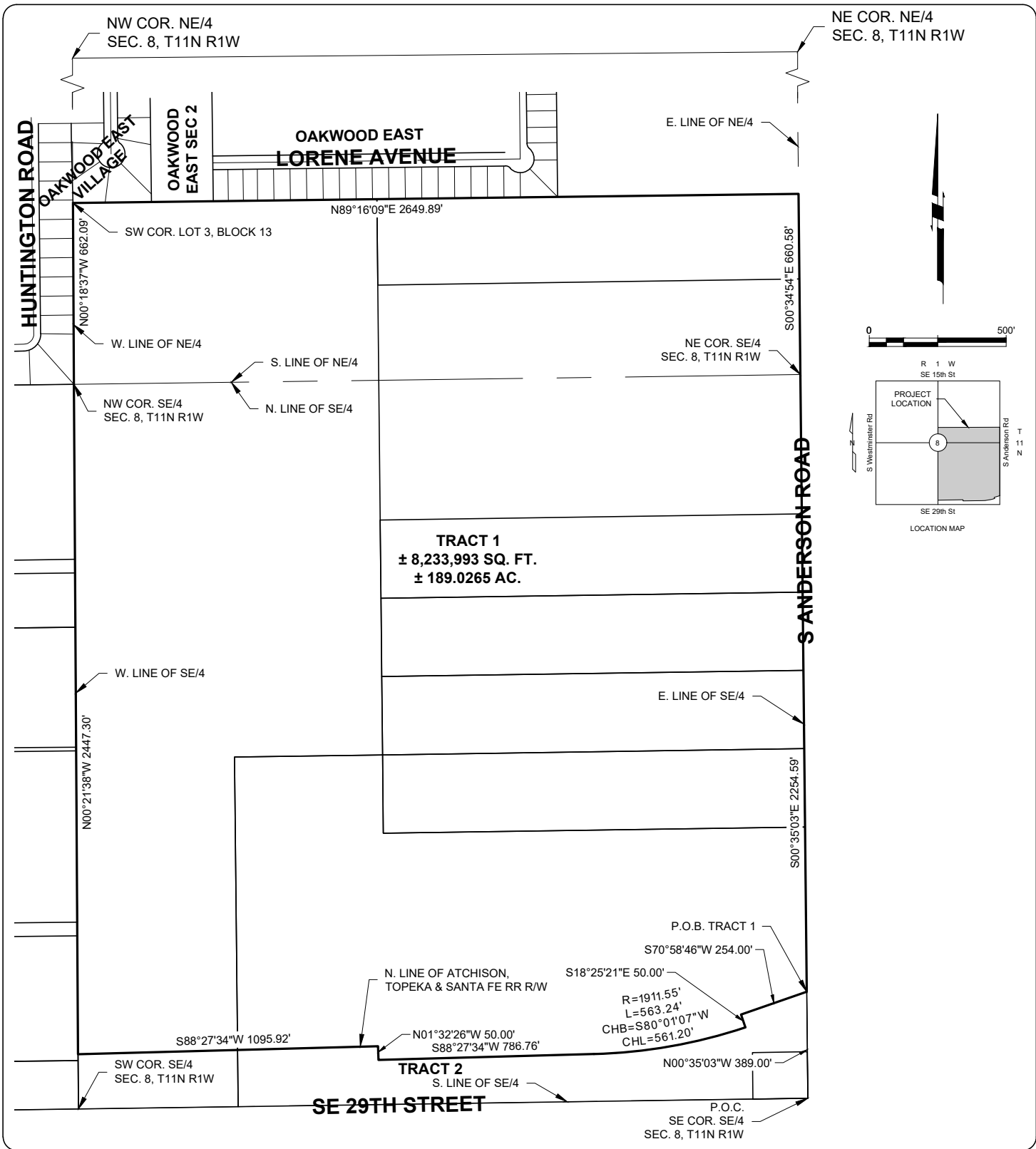
THENCE South 00°34'54" East, along and with the East line of said NE/4, a distance of 660.58 feet to the Northeast (NE) Corner of said SE/4;

THENCE South 00°35'03" East, along and with the East line of said SE/4, a distance of 2,254.59 feet to the POINT OF BEGINNING.

Containing 8,233,993 square feet or 189.0265 acres, more or less.

Basis of Bearing: the assumed bearing of South 00°35'03" East was used for the East line of the SE/4 of Section Eight (8), Township Eleven (11) North, Range One (1) West. All Distances are grid distances in U.S. Survey Feet.

Note: This legal description is based on record information only and is not the result of an actual survey of the property.



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Proj. No.: 6184  
Date: 11-26-25  
Scale: 1"=500'

**29TH & ANDERSON**  
OKLAHOMA COUNTY, OKLAHOMA  
**TRACT 1 ZONING EXHIBIT**

**Johnson & Associates**  
1 E. Sheridan Ave., Suite 200  
Oklahoma City, OK 73104  
(405) 235-8075 FAX (405) 235-8078 www.jaokc.com  
Certificate of Authorization #1484 Exp. Date: 06-30-2027  
• ENGINEERS • SURVEYORS • PLANNERS •

**THE CITY OF MIDWEST CITY  
PLANNED UNIT DEVELOPMENT**

**PUD**

**DESIGN STATEMENT FOR**

**2601 S Anderson Road**

December 15, 2025  
Revised February 5, 2026  
Revised March 12, 2026  
Revised May 1, 2026

**Owner:**

EASTOC, LLC  
P.O. Box 10537  
Midwest City, OK 73140

And

Builders Collective, LLC  
306 Sunnyslane Road  
Moore, OK 73160

**Prepared by:**

Johnson & Associates  
1 East Sheridan, Suite 200  
Oklahoma City, OK 73104  
(405) 235-8075  
[mzitzow@jaokc.com](mailto:mzitzow@jaokc.com)  
6184

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## **1.0 INTRODUCTION:**

The subject property is located at 2601 S Anderson Road in southeast Midwest City. This site is approximately 201.69 acres in size.

## **2.0 LEGAL DESCRIPTION:**

The legal description of the property comprising the proposed “2601 S Anderson Road” PUD is described in Exhibit A, attached, and is made a part of this Master Design Statement.

## **3.0 OWNER/DEVELOPER:**

The Owner and Developer of the property described in Section 2.0 is EASTOC, LLC and Builders Collective, LLC. Johnson & Associates prepared this PUD document.

## **4.0 SITE AND SURROUNDING AREA:**

The subject property is located at 2601 S Anderson Road. The property is currently zoned as R-6, “Single-Family Detached Residential” District. The subject property is undeveloped.

North: North of the subject site is zoned and developed as R-6, “Single-Family Detached Residential” District.

East: Directly east of the subject site is S Anderson Road and beyond is zoned as R-6, “Single-Family Detached Residential” District and a PUD (PC-1984) with a base zoning of R-6, “Single-Family Detached Residential” District and developed as single family residential.

South: Immediately south of the subject site is SE 29<sup>th</sup> St. Beyond SE 29<sup>th</sup> St. is The City of Oklahoma City.

West: West of the subject site is zoned and developed as R-6, “Single-Family Detached Residential” District.

## **5.0 PHYSICAL CHARACTERISTICS:**

The subject site is approximately 201.69 acres and is undeveloped. A portion of the far west side of the subject property is within the FEMA floodway and 100-Year Floodplain. There are two USGS Blue Line Streams on the site, one within the FEMA Floodplain and the other on the northeast corner of the site. The proposed development will be designed to meet all the Drainage requirements of the City of Midwest City Municipal Code, as amended.

## **6.0 CONCEPT:**

It is the developer’s intent to develop the subject property as a vibrant people-first, mixed-use neighborhood that incorporates a variety of housing types along with supporting uses including commercial and open space recreational areas.

Modeled on the traditional village pattern, the master plan includes a mix of densities ranging from single family detached abutting the arterial street frontage with more dense urban village centers on the interior of the development. The internal circulation of the development has been designed first and foremost for the human scale and pedestrian movement patterns.

The thoughtful layout of the development provides adjacent green space as an amenity to residents. The parcels surrounding the green spaces include a diverse mix of uses designed to address a diverse range of demographic needs. Planned building types include Hofje-style active senior living (modeled on the neighborly courtyard of the Netherlands), four-plex multi-family buildings, mixed use live-over-work buildings, and a range of single-family housing options. Homes are sited along tree-line streets which follow the curving topography of the site.

This PUD allows for the creation of a mixed-use neighborhood that conforms to New Urbanism principles that would not otherwise be attainable under the Midwest City Zoning Code. By modifying the existing zoning requirements, the design statement and exhibits that constitute this Planned Unit Development will provide the developer with the flexibility desired to develop the site in a way that compliments the surrounding development.

## **7.0 SERVICE AVAILABILITY:**

### **7.1 STREETS**

Access into this PUD shall be via SE 29<sup>th</sup> Street and S Anderson Road.

### **7.2 SANITARY SEWER**

Sanitary sewer will be provided by extension of The City of Midwest City sewer line which is currently serving the area. All utility easements shall be permitted to be located in the front and/or back of a lot. Utility lines shall be permitted to be located within the public right-of-way and under paved roadways. Any repairs to public roadways due to utility line issues shall be the responsibility of the developer / Homeowners Association.

### **7.3 WATER**

Water is available to the site and will be provided by an extension of The City of Midwest City water line system. All utility easements shall be permitted to be located in the front and/or back of a lot. Utility lines shall be permitted to be located within the public right-of-way and under paved roadways. Any repairs to public roadways due to utility line issues shall be the responsibility of the developer / Homeowners Association.

### **7.4 FIRE PROTECTION**

Fire protection for the site shall be provided through The City of Midwest City Fire Department. The closest fire station to this site is Station No. 5 which is located at 801 S Westminster Road. Station No. 5 is approximately 2.4 miles northwest of the subject PUD.

### **7.5 GAS SERVICE, ELECTRICAL SERVICE, AND TELEPHONE SERVICE**

Proper coordination with all utility providers for extension of services will be made in conjunction with this development.

## **7.6 PUBLIC TRANSPORTATION**

There are no COTPA EMBARK bus lines in the area.

## **7.7 DRAINAGE**

Development of this parcel will comply with the City of Midwest City Municipal Code, as amended.

## **7.8 COMPREHENSIVE PLAN 2045**

The Comprehensive Plan 2045 designates this property to be Estate Residential with a Special Planning Area overlay.

The Estate Residential land use is primarily for detached single-family homes on large lots. The Special Planning Area overlays have been identified as areas where there is potential to set the stage for development patterns. The subject property was specifically identified as an area that is likely to develop as residential, with some mixed-use blended in.

The proposed project will provide a variety of lot sizes and a mix of residential and commercial uses. This development will bring a variety of much needed housing types to the City of Midwest City.

## **8.0 SPECIAL DEVELOPMENT REGULATIONS:**

The following Special Development Regulations and/or limitations are placed upon the development of the PUD. Planning and zoning regulations will be those which are in effect at the time of development of this PUD, provided. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this PUD. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in The City of Midwest City's Zoning Code as such exists at the time of development of this PUD. In the event of conflict between provisions of this PUD and any of the provisions of the Midwest City Municipal Code, as amended ("Code"), in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this PUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, such Special Use and Development Regulations of this PUD shall prevail and be controlling.

## 8.1 USE AND DEVELOPMENT REGULATIONS

### 8.1.1 TRACT 1

The use and development regulations of the **R-6, “Single-Family Detached Residential” District** shall govern Tract 1, except as herein modified:

The following uses shall be allowed within Tract 1:

- Accessory Dwelling Unit, Attached or Detached, ADUs shall be permitted on lots within this Tract subject to the City of Midwest City Municipal Code Appendix A, Section 4.2.10.A., B., D., and E. The minimum lot size shall be governed by this PUD.
- Community Recreation: Restricted
- Community Recreation: Property Owners’ Association
- 
- Home Occupation
- 
- Off-Street Parking: Accessory Parking
- Public Service or Utility: Light
- Single-Family Detached Residential

All other conditional, accessory, special or special exception uses not specifically prohibited shall be permitted subject to the review and approval processes specified in the Zoning Code.

#### Tract 1 Bulk Regulations:

Density: The maximum density of this tract shall be 4 dwelling units per acre.

#### Setbacks:

Front:	Maximum 10 feet; garages shall be permitted to be located at the front building line; porch placement shall be per code.
Side Interior:	3 feet
Side Corner:	10 feet
Rear:	20 feet

Maximum Building Height: 35 feet

Maximum Building Coverage per Platted Lot: 40% of lot area

Minimum Lot Size: 10,000 SF

Minimum Lot Width: 75 feet at the front building line

Minimum Lot Depth: 100 feet

Minimum House Size: 2,100 square feet

Maximum Impervious Surface Coverage per Platted Lot: 65% of lot area

Accessory Dwelling Units: There shall be a minimum house size of 2,100 square feet (main structure) requirement to permit an accessory dwelling unit on a lot.

## 8.1.2 TRACT 2

The use and development regulations of the **R-HD, “High Density Residential” District** shall govern residential uses within Tract 2 and the **C-1, “Restricted Commercial” District** shall govern nonresidential uses within Tract 2, except as herein modified:

The following uses shall be allowed within Tract 2:

### Residential Uses:

- Accessory Dwelling Unit, Attached or Detached, ADUs shall be permitted on lots within this Tract subject to the bulk standards within this PUD and the Generative Design Guidelines.
- Community Recreation: Restricted
- Community Recreation: Property Owners' Association
- Home Occupation
- Multifamily Residential shall expressly prohibit traditional garden-style apartments or large apartment complex projects and shall be limited to no more than 12 dwelling units per building.
- Single-Family Detached Residential
- Two-Family Attached Residential (Duplexes)
- Three-Family/ Four-Family (Tri/Four-Plexes)
- Townhouse (Single-Family Attached)

### Nonresidential Uses:

- Administrative and Professional Office
- Alcoholic Beverage Retail Sales
- Animals: Grooming and Sales
- Animal Sales and Services: Kennels and Veterinary, Restricted
- Building Maintenance Services
- Business Support Services
- Child Care Center and Adult Day Care Center
- Convenience Sales and Personal Services
- Community Recreation: General
- Cultural Exhibits
- Custom Manufacturing
- Drinking Establishments: Sit-Down, Alcoholic Beverages Permitted\*
- Eating Establishments: Fast Foods\*
- Eating Establishments: Sit-Down, Alcoholic Beverages not Permitted\*
- Eating Establishments: Sit-Down, Alcoholic Beverages Permitted\*
- Food and Beverage Retail Sales
- Health Clubs
- Low Impact Institutional: Neighborhood Related
- Library Services and Community Centers
- Laundry Services
- Medical Services: Restricted
- Medical Services: General
- Off-Street Parking: Accessory Parking
- Participant Recreation and Entertainment: Indoor

- Participant Recreation and Entertainment: Indoor, Alcoholic Beverages Permitted
- Personal Services: Restricted
- Personal Services: General
- Public Service or Utility: Light
- Public Service or Utility: Moderate
- Repair Services: Consumer
- Retail Sales and Services: General
- Spectator Sports and Entertainment: Restricted

*\*Outdoor seating and service shall be permitted*

Outdoor storage and outdoor sales will not be permitted for large-scale commercial uses. Temporary outdoor retail displays shall be permitted.

All other conditional, accessory, special or special exception uses not specifically prohibited shall be permitted subject to the review and approval processes specified in the Zoning Code.

Other uses not listed shall be permitted on review by the City Council.

Tract 2 Bulk Regulations:

Density: The maximum density of this tract shall be 6 dwelling units per acre.

Setbacks: Zero-foot internal setbacks shall be permitted within this tract or individual platted lots, except as required by building and fire code. A minimum separation of ten (10) feet between any residential structure and any adjacent residential structure shall be required.

Maximum Building Height: 50 feet

Maximum Building Coverage per Platted Lot: 100%

Minimum Lot Size: None

Minimum Lot Width: None

Minimum Lot Depth: None

Maximum Building Size for Nonresidential Uses: 5,000 SF per floorplate. Commercial areas shall further be restricted to areas as designated for commercial in the Generative Design Guidelines.

Maximum Impervious Coverage per Platted Lot: 100%

Accessory Dwelling Units: There shall be no minimum house size (main structure) requirement to permit an accessory dwelling unit on a lot. ADUs shall be permitted on lot sizes of 3,000 square feet and greater.

## **9.0 SPECIAL CONDITIONS:**

The following special conditions shall be made a part of this PUD as these regulations are reflected on the Master Development Plan. All development proposed within this PUD shall be in substantial compliance with this exhibit. Any significant deviation to density, design or street configuration shall require additional approval by the City Council at the platting stage.

### **9.1 ARCHITECTURAL REGULATIONS**

Exterior building wall finish on all single-family, ADUs, multifamily and commercial structures, exclusive of windows and doors, shall consist of a minimum 85% brick, brick veneer, rock, concrete, stucco, concrete board, architectural metal, architectural wood, architectural concrete or stone masonry. The following materials shall be expressly prohibited: EIFS or foam derived elements, faux stone, T1-11 siding, vinyl siding, or Styrofoam moldings.

Design guidelines and regulations have been made part of this PUD as Exhibits H and I. They have been included to ensure the development adheres to the overarching design themes and layout as presented. The Architectural Review Board shall have the authority to amend, as necessary, as development continues, which includes only items contained within Exhibits H and I. All regulations and guidelines contained within these specified documents are subject to the review and approval of the Architectural Review Board which shall provide a thorough review and letter of conformance to City staff at the time of any building permit application. City staff shall continue normal building code review in regard to the PUD language, the plats, other listed exhibits, and all life safety standards.

The PUD language shall not be amended without approval of City Staff, Planning Commission, or the City Council, depending on the changes sought.

An Architectural Review Board (ARB) shall be created by the developer to review and approve all proposed building design, modifications and landscaping. A letter from this board shall be submitted with each building permit, noting compliance.

### **9.2 LANDSCAPING / OPEN SPACE / TREE PRESERVATION REGULATIONS**

The subject site shall meet all requirements of the City of Midwest City's Landscaping Ordinance in place at the time of development, except as otherwise noted. The subject site shall meet all requirements of the City of Midwest City's Tree Preservation regulations in place at the time of development, except as otherwise noted.

The required landscaping shall be permitted to be located within the public right-of-way and within public easements, provided that species selection and planting locations are coordinated to avoid conflicts with utilities and infrastructure.

Street trees shall be required along all public streets spaced no greater than 30 feet apart unless utilities or other obstructions exist. Where applicable, the street trees shall count towards meeting the residential lot tree requirements. For Single-family residential lots only one tree shall be required per lot. Said tree shall not be required to be located within the single-family lot and shall be permitted to be located within common areas and public right-of-way. In Tract 1, in addition to street trees, one tree shall be required to be located on the lot.

A minimum of 22% of this PUD shall be dedicated to landscaping, open space and/or tree preservation contained within common areas and landscape/preservation easements. The trees preserved within the floodplain shall count toward this requirement.

All plant lists for areas adjacent to or in a public space shall be reviewed and approved by the Architectural Review Board. A letter from this board shall be submitted with each building permit, noting compliance.

### **9.3 LIGHTING REGULATIONS**

Lighting within this PUD shall be in accordance with the Master Development Handbook.

To minimize light spillover on residential uses, outdoor lights within the development will be directed away from any adjacent residential properties. To accomplish this, lights shall utilize shields, shades, or other appropriate methods of directing light beams.

To ensure a cohesive development and reduce light pollution, all exterior lighting, including landscape fixtures, shall be exclusively reviewed and approved by the Architectural Review Board (ARB). A letter from this board shall be submitted with each building permit, noting compliance.

### **9.4 SCREENING REGULATIONS**

A buffer/easement of not less than 24 feet containing existing vegetation shall be maintained along the north PUD boundary adjacent to residential uses and shall satisfy any sight-proof screening requirements. A buffer/easement of not less than 37 feet containing existing vegetation shall be maintained along Anderson Road; and a buffer/easement of not less than 24 feet containing existing vegetation shall be maintained along SE 29 Street. Additional fencing shall be installed by the developer in accordance with the City of Midwest City Municipal Code, as amended. Such additional boundary fencing shall not be constructed solely of wood or chain link and shall be complimentary of the aesthetics and architecture reflected in the development. Wood may be used as an accent material placed above brick walls and/or columns. Said wood shall be at a minimum stained, cedar, and capped. Perimeter fencing shall be maintained by the Homeowners' Association. Any perimeter/boundary fencing along Anderson Road and SE 29 Street shall be of consistent style, height, and material along the full length of the development abutting said arterials. All buffers shall be located within common area or a dedicated landscape/preservation easement that shall be dedicated with each final plat.

To ensure proper maintenance of exterior perimeter walls and fences along S Anderson Rd. and SE 29<sup>th</sup> St. the HOA shall be responsible for maintenance of said walls and fences.

Interior lot screening shall be in accordance with the Generative Design Guidelines to encourage human-scale, inner-lot spaces. Screening shall be permitted in the form of fencing and/or landscaping and shall be permitted a maximum height of 8 feet. Said screening shall be permitted to be sight-proof and/or open. Screening shall be permitted to extend into the sight triangle a maximum of 20 feet. As this is a pedestrian-scale development, streets will be shared spaces for pedestrians, bicycles and vehicles. Allowing screening to extend into the sight triangle will allow for streets to be more inviting to encourage pedestrian and bicycle travel.

### **9.5 DUMPSTER REGULATIONS**

Dumpsters shall be consolidated where practical and located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from the view of primary vehicle and pedestrian circulation systems. Said enclosure shall be a minimum of 50 feet from any residential use.

During construction roll-off dumpsters shall be permitted in both tracts.

### **9.6 DRAINAGE REGULATIONS**

Development of this parcel will comply with the City of Midwest City Municipal Code, as amended.

### **9.7 ACCESS REGULATIONS**

To ensure a cohesive development and given the amount of detail provided within the Generative Design Guidelines, streets and drives within this PUD shall be constructed as detailed in the design guidelines. There shall be no minimum separation distance required within this PUD. All public streets shall be designed to facilitate emergency services access.

Street sections shall be permitted as shown in the Street Section Exhibit within this development. Public streets within this PUD, as noted on the Street Section Exhibit, shall have a minimum right-of-way width of 45 feet. The minimum pavement width for public and private streets within this PUD shall be 20 feet. Curbs shall not be required for alleys, drives or private streets within this PUD.

Vehicular access into this PUD shall be via a maximum of two (2) drives from SE 29<sup>th</sup> Street and via a maximum of two (2) drives from S Anderson Road.

Boulevard-style entrances shall be permitted.

Lots within this PUD will not be required to have frontage on an approved public street. Access to individual lots within the PUD may be permitted to be from a private drive. The private drive shall be placed within a common area designated for access purposes. A Property Owners Association through the use of recorded Covenants and Restrictions shall govern maintenance of the private drive.

Access to the individual buildings shall be provided by private shared access drives that will provide internal circulation. Private shared access drives shall have a minimum pavement width of fourteen (14) feet.

Direct access to individual lots from S Anderson Road and SE 29<sup>th</sup> Street shall be prohibited.

## **9.8 PEDESTRIAN ACCESS/SIDEWALK REGULATIONS**

A minimum of five-foot wide sidewalks shall be provided on at least one side of all public curbed streets. Shared plaza streets, Mews, common areas and private streets / drives (or shared space streets, i.e. Inner-block streets) that accommodate pedestrians, bicyclists and automobiles in a shared right-of-way shall have no sidewalk requirements.

## **9.9 PARKING REGULATIONS**

A minimum number of parking spaces shall not be required within this PUD and no additional parking shall be required for residential or commercial uses. Where provided, the design of all parking facilities in this PUD shall be in accordance with the City of Midwest City Municipal Code. Right-of-way parking will be allowed on any street within this PUD and will not be limited except as required by the City of Midwest City Fire Marshal. Right-of-way spaces shall not be used in calculating the accessible parking space requirement.

Garages and enclosed parking spaces shall not be required within this PUD. The minimum driveway width within this PUD shall be 8 feet. Driveway access, including J-drives shall be permitted as described within the Generative Design Guidelines and Master Development Handbook.

Proposed uses are not required to have off-street parking located on the same site as the structure. Off street parking may be provided by parking lots or garages located adjacent to the structure it serves.

Pervious paving may be used for parking areas, driveways, pathways, and plazas subject to Public Works review and approval. Where connected to public rights-of-way the access drive apron will be constructed of hard surface paving meeting City code for driveway construction. A hard surface border is required around the perimeter of pervious paving areas. Maintenance of the pervious paving is required, and a maintenance plan must be provided when construction documents are submitted for permitting.

Paving materials permitted shall include but are not limited to exposed aggregate, decomposed granite, gravel, concrete, salt finish, pavers, pea gravel, or other similar materials.

## **9.10 SETBACK REGULAITONS**

PUD Boundary Setbacks:

North:	25 feet
East:	25 feet
South:	25 feet
West:	50 feet

## **9.11 SIGNAGE REGULATIONS**

Signage within this PUD shall be in accordance with the guidelines in the Master Development Handbook.

Freestanding, attached, non-accessory, temporary, and accessory off-premises signs shall be permitted within this PUD. Signage types are defined in the attached Signage Definitions Exhibit.

All signage designs, sizes and placement shall be reviewed and approved by The Architectural Review Board. A letter from this board shall be submitted with each building permit / sign permit, noting compliance.

## **9.12 ROOFING REGULATIONS**

All structures in this PUD shall adhere to applicable building codes as adopted by the City of Midwest City.

## **9.13 PUBLIC IMPROVEMENTS**

The Developer shall make public improvements throughout the PUD as may be required by The City of Midwest City Public Works Department or other City, County, or State Department or agency. All Local, State, and Federal ordinances as they shall apply to the site will be adhered to fully.

## **9.14 COMMON AREAS**

Maintenance of the common areas in the development shall be the responsibility of the developer, owner/operator, and/or the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Access to the floodplain for maintenance shall be provided.

## **9.15 PLATTING & PERMITTING REQUIREMENTS**

Platting shall be per the City of Midwest City Subdivision Regulations. In Tract 1, the PUD shall allow for the consolidation of two adjacent lots into one larger lot for a buyer who wishes to build a home that reflects the Estate Residential intent of the Midwest City Comprehensive Plan 2045, Future Land Use Map and Estate Residential Dashboard.

## **10.0 DEVELOPMENT SEQUENCE:**

Developmental phasing shall be allowed as a part of the development of this PUD. Required traffic improvements shall be permitted to be constructed in conjunction with the phased development of this PUD, as approved by the City's Engineering Division.

## **11.0 EXHIBITS:**

The following exhibits are hereby attached and incorporated into this PUD. These exhibits are:

- A: Legal Description
- B: Contour Map
- C: Tract Map
- D: Conceptual Site Plan
- E: Street Sections
- F: Preservation Area & Open Space
- G: Signage Definitions
- H: Generative Design Guidelines
- I: Masterplan Development Handbook

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

29<sup>th</sup> & Anderson

November 26, 2025

A tract of land being a part of the Northeast Quarter (NE/4) and Southeast Quarter (SE/4) of Section Eight (8), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Midwest City, Oklahoma County, Oklahoma, being more particularly described as follows:

Commencing at the Southeast (SE) Corner of said SE/4;

THENCE North 00°35'03" West, along and with the East line of said SE/4, a distance of 389.00 feet to a point on the Northerly right of way line of The Atchison, Topeka and Santa Fe Railroad Company as recorded in Book 4490, Page 1387, also being the POINT OF BEGINNING;

THENCE along and with said Northerly right of way line of The Atchison, Topeka and Santa Fe Railroad Company the following 6 courses:

1. South 70°58'46" West (Southwesterly record), a distance of 254.00 feet (254 feet record);
2. South 18°25'21" East (Southeasterly record), a distance of 50.00 feet (50 feet record);
3. a non-tangent curve to the right having a radius of 1,911.55 feet, a chord bearing of South 80°01'07" West (Westerly record), a chord length of 561.20 feet and an arc length of 563.24 feet;
4. South 88°27'34" West (Westerly record), a distance of 786.76 feet;
5. North 01°32'26" West (Northerly record), a distance of 50.00 feet (50 feet record);
6. South 88°27'34" West (Westerly record), a distance of 1,095.92 feet (1116 feet record) to a point on the West line of said SE/4;

THENCE North 00°21'38" West, along and with the West line of said SE/4, a distance of 2,447.30 feet to the Northwest (NW) Corner of said SE/4;

THENCE North 00°18'37" West, along and with the West line of said NE/4, a distance of 662.09 feet to the Southwest (SW) Corner of Lot 3 Block 13 of the plat OAKWOOD EAST VILLAGE recorded in Book 53, Page 66;

THENCE North 89°16'09" East, along and with the South line of said OAKWOOD EAST VILLAGE, the South line of the plat OAKWOOD EAST SECTION 2, and the South line of the plat OAKWOOD EAST and its extension, a distance of 2,649.89 feet to a point on East line of said NE/4;

THENCE South 00°34'54" East, along and with the East line of said NE/4, a distance of 660.58 feet to the Northeast (NE) Corner of said SE/4;

THENCE South 00°35'03" East, along and with the East line of said SE/4, a distance of 2,254.59 feet to the POINT OF BEGINNING.

Containing 8,233,993 square feet or 189.0265 acres, more or less.

Basis of Bearing: the assumed bearing of South 00°35'03" East was used for the East line of the SE/4 of Section Eight (8), Township Eleven (11) North, Range One (1) West.  
All Distances are grid distances in U.S. Survey Feet.

Note: This legal description is based on record information only and is not the result of an actual survey of the property.

AND

A tract of land being a part of the Southeast Quarter (SE/4) of Section Eight (8), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, being more particularly described as follows:

Beginning at the Southeast (SE) Corner of said SE/4;

THENCE South 89°09'29" West, along and with the South line of said SE/4, a distance of 2,663.37 feet to the Southwest (SW) Corner of said SE/4;

THENCE North 00°21'38" West, along and with the West line of said SE/4, a distance of 200.00 feet to a point on the Northerly right of way line of The Atchison, Topeka and Santa Fe Railroad Company as recorded in Book 4490, Page 1387;

THENCE along and with said Northerly right of way line of The Atchison, Topeka and Santa Fe Railroad Company the following 6 courses:

1. North 88°27'34" East (Easterly record), a distance of 1,095.92 feet (1116 feet record);
2. South 01°32'26" East (Southerly record), a distance of 50.00 feet (50 feet record);
3. North 88°27'34" East (Easterly record), a distance of 786.76 feet;
4. a curve to the left having a radius of 1,911.55 feet, a chord bearing of North 80°01'07" East (Easterly record), a chord length of 561.20 feet and an arc length of 563.24 feet;
5. North 18°25'21" West (Northwesterly record), a distance of 50.00 feet (50 feet record);
6. North 70°58'46" East (Northeasterly record), a distance of 254.00 feet (254 feet record);

THENCE South 00°35'03" East, a distance of 389.00 feet to the POINT OF BEGINNING.

Containing 551,467 square feet or 12.6599 acres, more or less.

Basis of Bearing: the assumed bearing of South 00°35'03" East was used for the East line of the

SE/4 of Section Eight (8), Township Eleven (11) North, Range One (1) West.  
All Distances are grid distances in U.S. Survey Feet.

Note: This legal description is based on record information only and is not based on an actual survey of the property.



# SE 29th St & S Anderson Rd PUD

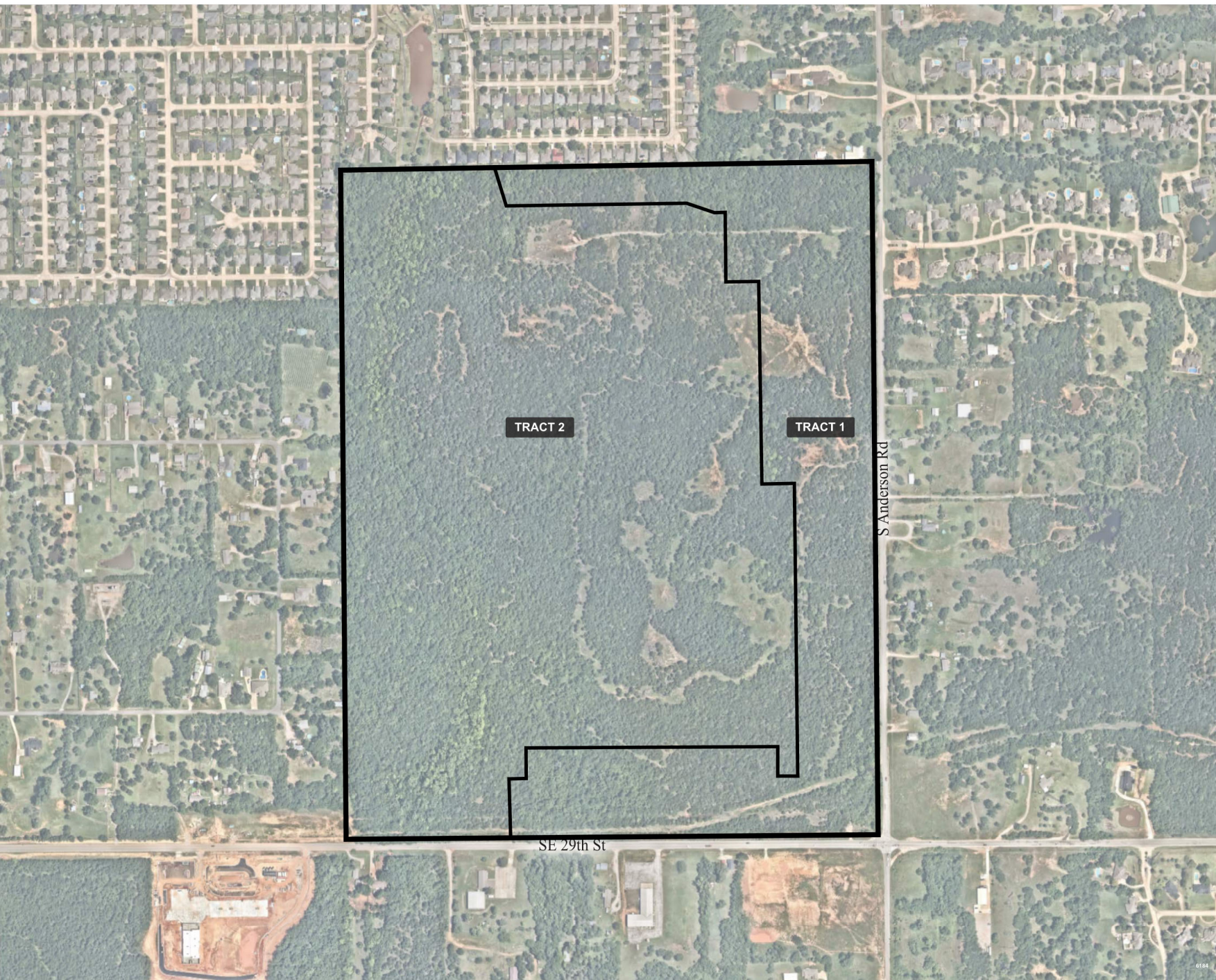
Exhibit B  
Contour Map



Johnson & Associates  
1 E. Sheridan Ave., Suite 200  
Oklahoma City, OK 73104  
(405) 235-6075 Fax (405) 235-6078

ENGINEERS SURVEYORS PLANNERS

11/25/25



**SE 29th St &  
S Anderson Rd  
PUD**

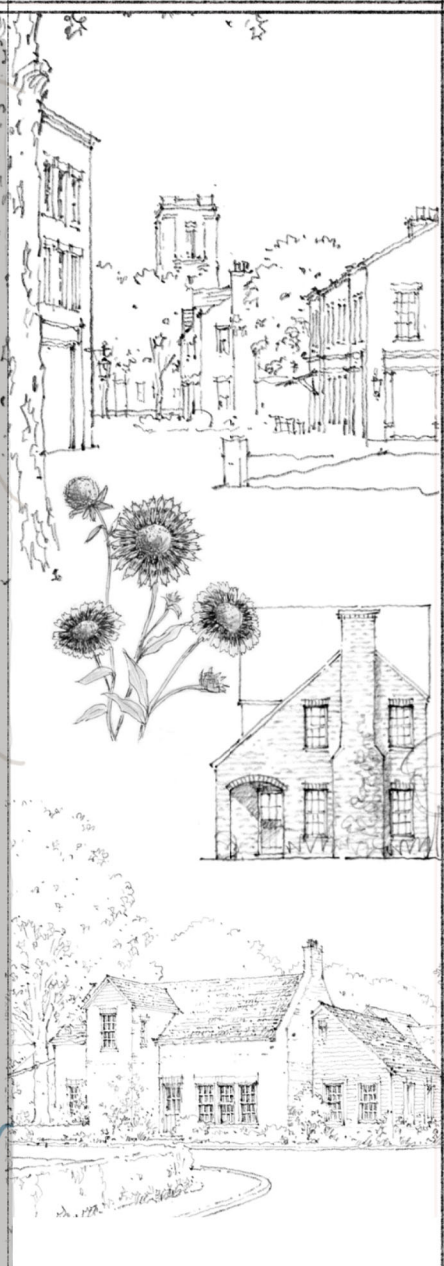
Exhibit C  
Tract Map



Johnson & Associates  
1 E. Sheridan Ave., Suite 200  
Oklahoma City, OK 73104  
(405) 235-8075 FAX (405) 235-8078

ENGINEERS SURVEYORS PLANNERS

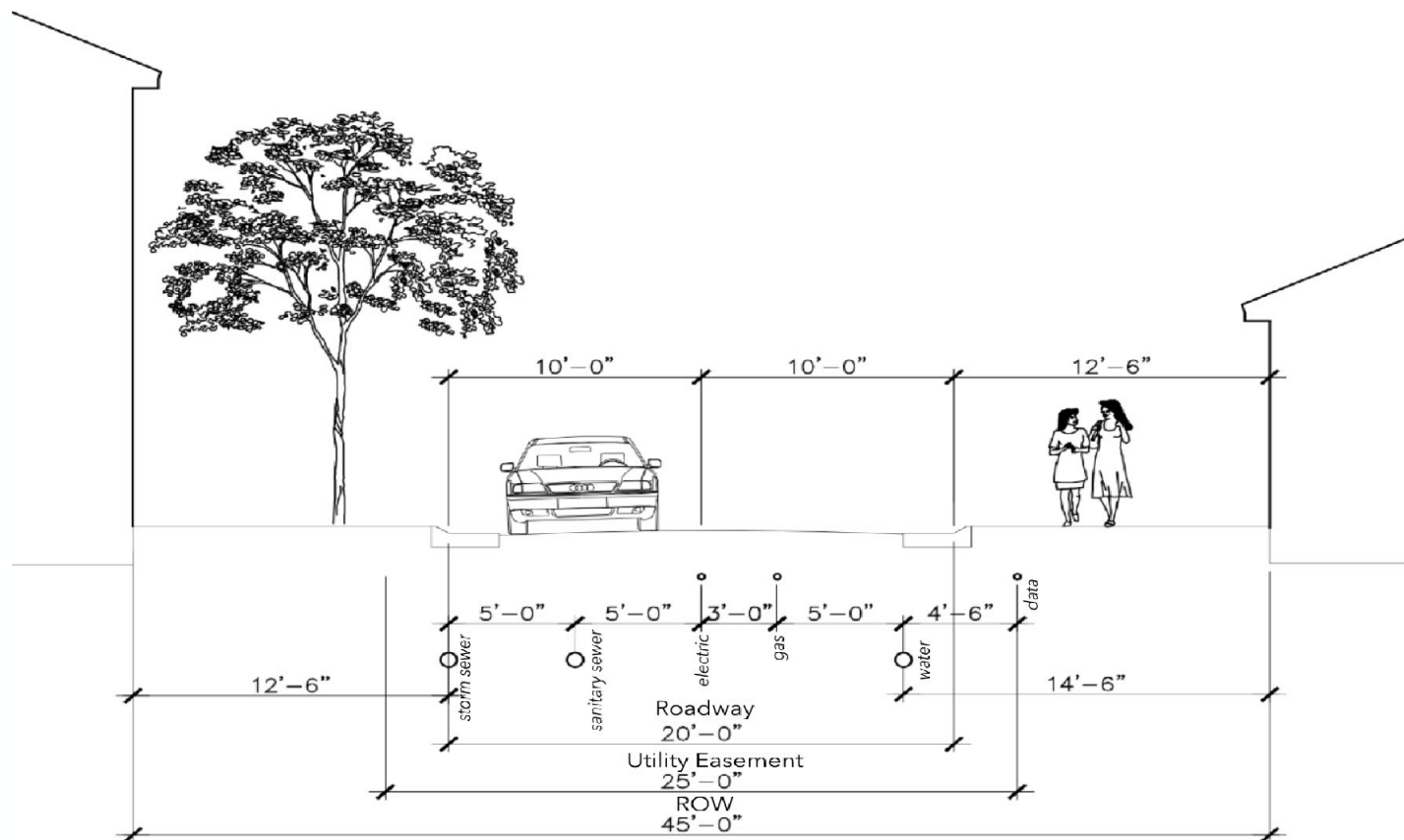
11/28/25



**Exhibit D**  
**Conceptual Site Plan**

**SE 29th St &  
S Anderson Rd  
PUD**

Exhibit E  
Street Section



Johnson & Associates  
1 E. Sheridan Ave., Suite 200  
Oklahoma City, OK 73104  
(405) 235-8075 FAX (405) 235-8078

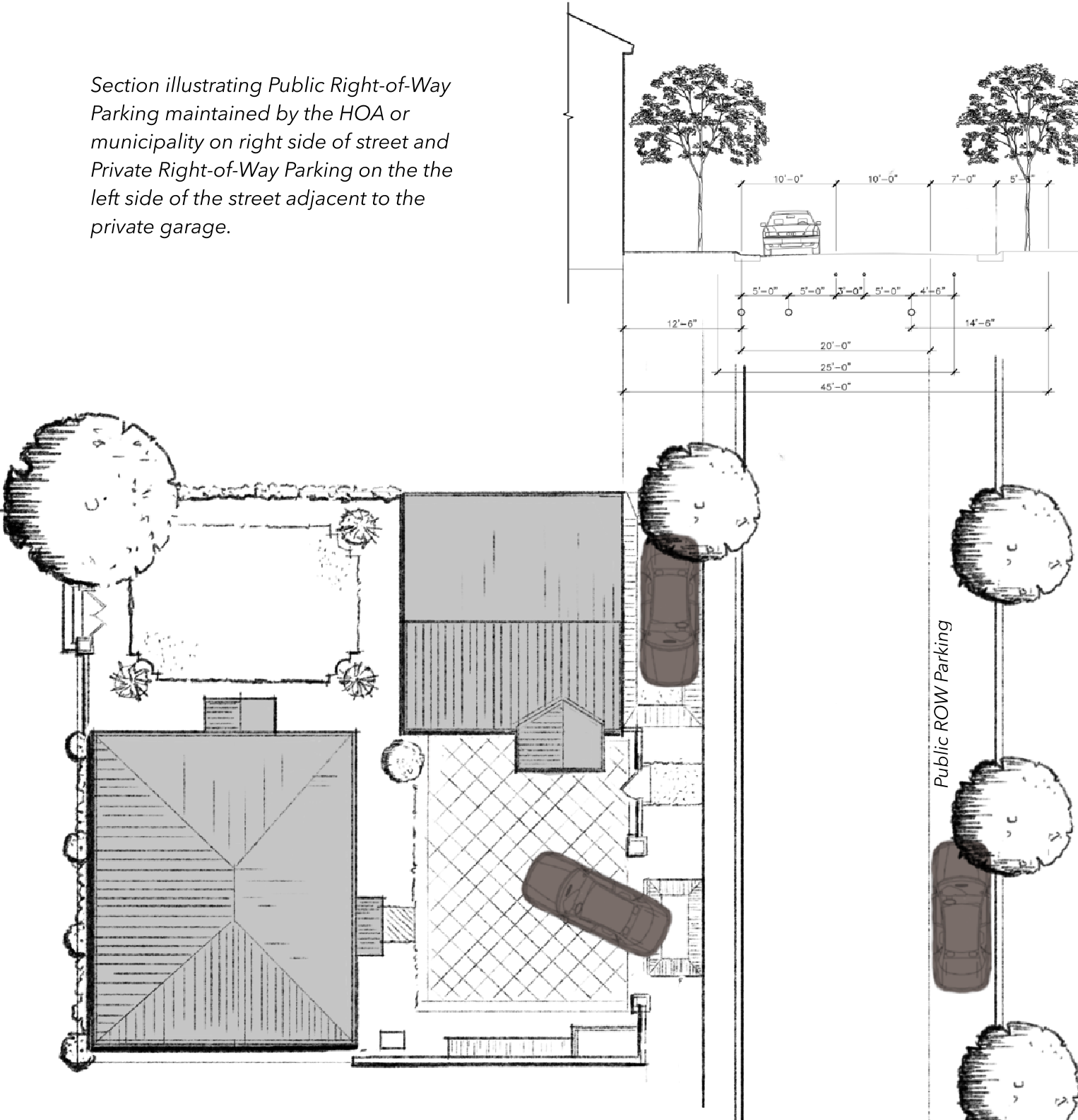
ENGINEERS SURVEYORS PLANNERS

12/17/25

# Exhibit E

## Public and Private Right-of-Way Parking

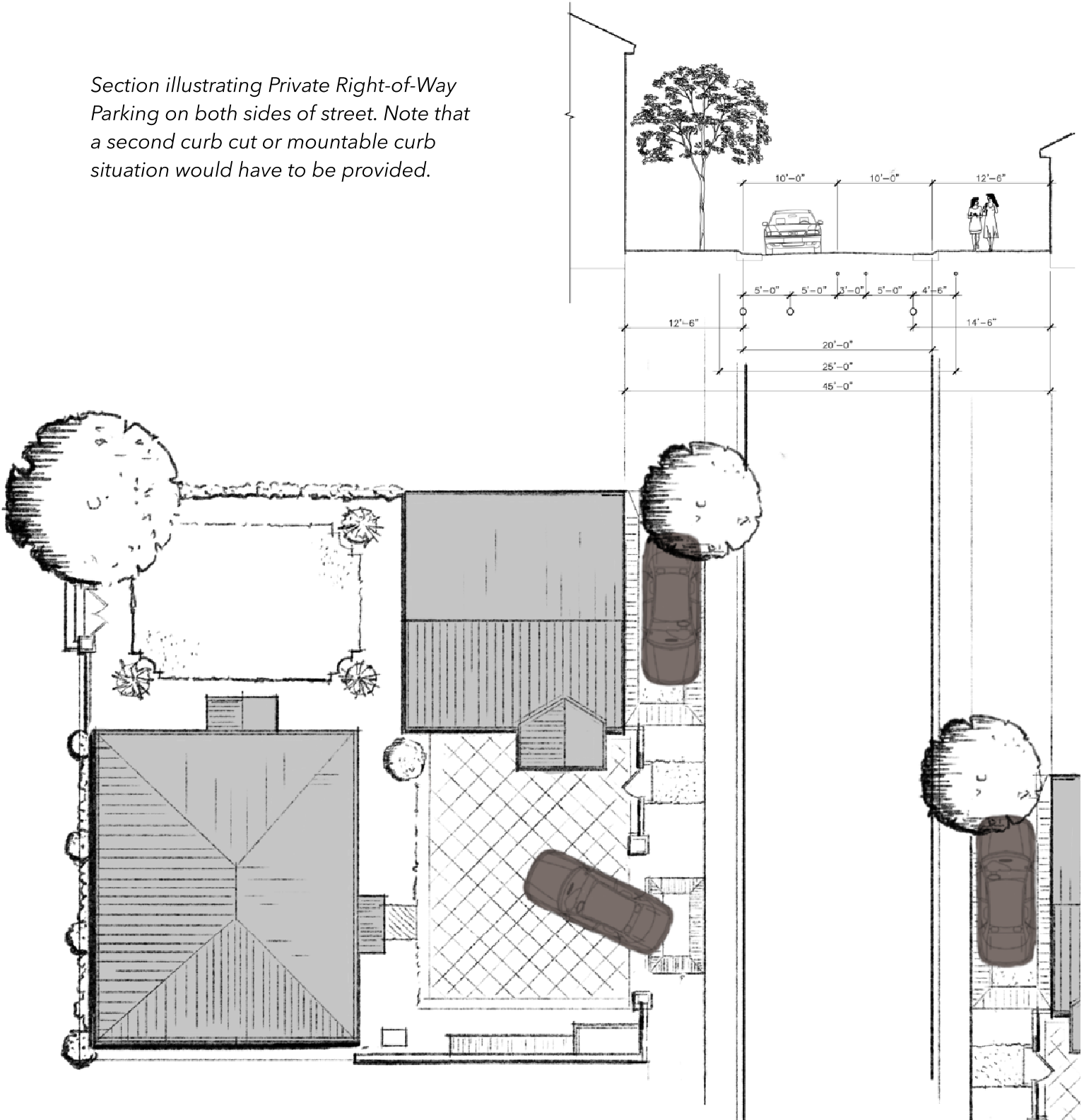
Section illustrating Public Right-of-Way Parking maintained by the HOA or municipality on right side of street and Private Right-of-Way Parking on the left side of the street adjacent to the private garage.



# Exhibit E

## Private Right-of-Way Parking

Section illustrating Private Right-of-Way Parking on both sides of street. Note that a second curb cut or mountable curb situation would have to be provided.





## SE 29th St & S Anderson Rd

Exhibit F  
 Preservation Area &  
 Open Space Exhibit

Total Open Space Area: +/- 49.60 acres

- Preservation Area
- Open spaces



Johnson & Associates  
 1 E. Sheridan Ave., Suite 200  
 Oklahoma City, OK 73104  
 (405) 231-8979 FAX (405) 231-8979

ENGINEERS SURVEYORS PLANNERS

02/05/26

Conceptual site plan showing feasible option permitted under proposed rezoning

6184

29<sup>th</sup> & Anderson PUD  
Exhibit G  
Signage Definitions

A-Frame Sign: See "Sandwich Board."

Air Dancer: An inflatable device (generally about 20' in height) consisting of a long tube attached to a fan which causes the tube to move in a dancing or flailing motion. Air dancers are generally called an inflatable tube or a moving figure, such as "windyman," "skydancer," "tube man," "wacky waving inflatable arm flailing tube man," and "flyguy." Variants of an air dancer may resemble humans with tube arms.

Animation: A sequence of frames that, when played in order at sufficient speed, presents a smoothly moving image like a film or video. Animation includes any or a combination of digitized video or computer-generated graphics.

Attached sign: A sign attached to, painted on, or in any other way represented on a building or a structural element of a building. Attached signs include any canopy sign, combination sign, marquee sign, module sign, parapet wall sign, projecting sign, roof sign, and wall sign.

Attention-Getting Device: Means an air dancer, feather sign, propeller, spinner, streamer, search light or similar device or ornamentation that is designed to attract attention.

Awning sign: Any sign painted, printed, attached, or otherwise applied to any facet or support structure of an awning. An "awning" means an architectural projection that provides weather protection, identity or decoration, and is partially or wholly supported by the building to which it is attached. An awning is comprised of a lightweight frame structure over which a covering is attached.

Balloon Sign: An individual or grouping of inflatable devices, at least three feet in height or width, with or without a specific message, figures or designs attached to its surface, used or intended to be used to attract attention. Depending upon its size or location a balloon sign may be considered a ground sign, a roof sign, an attached sign or a freestanding sign. Balloons that do not meet the definition in this paragraph are not governed under the regulations of this chapter.

Banner: A pennant, streamer, picture, figure, or other object, made of fabric, cloth, bunting, plastic, paper, or any other non-rigid material with no enclosing framework.

Billboard: A sign or sign structure upon which advertising may be posted, painted, or affixed, and which is primarily designed for the rental or lease of the sign space for advertising not related to the use of the property upon which the sign is located.

**Canopy Sign:** An attached sign painted on or attached to the vertical side of, or erected on the roof surface of, a canopy or awning.

**Combination sign:** A single attached sign incorporating any combination of the features of the projecting, parapet wall, canopy, marquee, and wall signs.

**Copy:** Any words, letters, numbers, figures, logos, designs or other symbolic representations incorporated into a sign.

**Double-faced sign:** A sign which has two display surfaces each of which is parallel to the other or joined in a "V" shape forming an angle of 30 degrees or less.

**Electronic Message Display (EMD):** A sign capable of displaying words, symbols, figures or images that can be electronically or mechanically changed by remote or automatic means.

**Feather Sign:** A sign made of flexible material in the shape of a feather, quill, sail, blade or teardrop, and mounted on a solid or flexible pole or cord. These are sometimes referred to as "quill signs" or "sail banners."

**Freestanding sign:** Sign which is attached to or a part of a completely self-supporting structure. The supporting structure is not attached to any building or any other structure and is anchored firmly to or below the ground surface.

**Ground sign:** A freestanding sign of limited height which is independent of any building or structure on the property and is placed upon the ground or supported by a base that is at least 50% of the width of the sign at its widest point. A sign attached to a wall or fence that serves as the boundary of a parcel is considered a ground sign. A ground sign does not include a pole sign.

**Illuminated sign:** Sign which has characters, letters, figures, designs, or outlines illuminated by electric lights or luminous tubes whether such sources of illumination are a part of a sign or not.

**Incidental Sign:** A sign with copy located on a rigid panel and mounted on a pole or a wall or similar structure, with or without a structural frame, that is normally incidental to the allowed use of the property, but can contain any message or content. An incidental sign does not include a billboard, or an attention-getting device or other prohibited sign.

**Marquee Sign:** An attached sign painted on or attached to the vertical side of, or erected on the roof surface of, a marquee.

**Module Sign:** A sign formed of individual modules. A module sign shall be erected so that there is a space between modules.

**Monument sign:** See "Ground Sign."

**Mural:** A one-of-a-kind visual depictions and/or work of art or licensed reproduction of an original work of art including, but not limited to, mosaic, painting, or graphic art techniques that are applied, painted, implanted, or placed directly onto the exterior of any structure. This definition is not intended to discourage the use of new paint and printing technologies.

**Off-Premise Sign:** A sign or advertising device which directs attention to an activity, service or product sold or offered elsewhere than on the premises on which the sign is located.

**On-Premise Sign:** A sign which exclusively identifies or displays either information concerning business conducted on the premises or non-commercial copy.

**Over-Canopy Sign:** A sign on the top of a roof overhang of a covered porch or walkway.

**Parapet Wall Sign:** Attached sign erected on the top surface of a parapet.

**Painted Sign:** Paint that is applied directly on a building wall to create a sign.

**Pole Sign:** A freestanding sign that is supported by a pole, is not attached to a building, and where the bottom edge of the sign face is located at least three (3) feet above the average finished grade at the base of the sign.

**Portable Sign:** Transportable sign with or without wheels and/or tires designed for temporary or permanent use. Typically, such signs are less than six feet in height, are mounted on a wheeled undercarriage or temporary base, and contain a display area designed to allow rapid revision of the letters, numbers and other characters in the advertising message.

**Projecting Sign:** An attached sign which projects from and which has one end attached to a building, and which does not employ ground support in any manner.

**Projection Image Sign:** Static or moving image electronically projected onto a structure or other stationary surface.

**Public Sign:** A sign erected by any governmental entity in conjunction with the conduct of any governmental program, operation or activity, including, but not limited to, federal, state, county, and City governments, and school and recreation districts.

**Roof Sign:** A sign that is mounted on the roof of a building, or that is wholly or partially dependent upon the building for support, and that projects above the highest point of a building with a flat roof, the eave-line of a building with a gambrel, gable, or hip roof, or the deck-line of a building with a mansard roof.

Roof sign, Type A: A roof sign that is located immediately and entirely over the roof of a building and attached to a wall, pylon or similar physical support that is part of the physical and architectural design of the building.

Roof sign, Type B: Attached sign erected on a vertical framework supported by and located immediately and entirely over the roof of a building.

Sandwich Board: A freestanding sign which is ordinarily in the shape of an "A," or spring mounted on a fixed base (or a variation of that), and which is usually two-sided. A "sandwich board" is also known as an A-frame or springer sign.

Sign: A structure or device, permanently or temporarily attached to, painted on, supported by, or represented on a building, fence, post or other structure which is used or intended to be used to attract attention. Unless otherwise provided, a "sign" includes the erection, construction or maintenance of any structure that meets the definition of "sign" above.

Skyline Sign: An attached sign that is placed above the first 250 feet of a building.

Snipe Sign: A sign illegally attached to a utility pole or utility box, or affixed to a public sign.

Springer Sign: See "Sandwich Board."

Subdivision Entry Sign: A monument sign located along the entry to a subdivision from a collector or arterial street.

Swinger Sign: A sign which ordinarily swings freely from a frame or similar device, located on the ground, but not otherwise attached to the ground, and which is usually two-sided.

Temporary sign: A sign constructed of cloth, canvas, light fabric, cardboard, wood, wallboard, metal, or other light materials, with or without frames, which is intended to be displayed for a limited period of time only.

Under Canopy Sign: A sign suspended from the underside of a canopy, awning, ceiling, marquee, roof overhang, a covered porch, or walkway.

Wall Sign: An attached sign painted on or attached to the wall or surface of a building or display surface which is parallel to the supporting surface. A sign attached to a wall or fence located on the boundary of a parcel shall be regulated as a ground sign.

Warning Sign: Any temporary or permanent sign used for warning or informing the public of any hazardous, dangerous or unsafe condition at any public or private property.

Wind Sign: An attention-getting device with or without copy, or a series of devices such as streamers, balloons, feather signs, and pennants with or without copy, fastened in such a manner as to move in the wind.

Window sign: A sign attached or painted on the surface of, located on the interior of, or flashing through a window.

# A New Town

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## R & R



*Generative Design Guidelines  
Midwest City, Oklahoma*



# Table of Contents

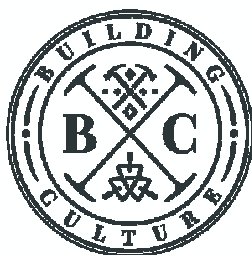


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**R&R Homes**  
*Moore, OK*



**Building Culture**  
*Oklahoma City, OK*





Original Layout

The original layout for the 200 acres (pictured above) was a total of 731 lots giving a baseline density to match when creating the more organic, human focused design.

The New Town master plan focuses on an 200-acre site in Midwest City, Oklahoma, just minutes from both Downtown Oklahoma City and Tinker Air Force Base.

Inspired by recent New Urbanist developments such as the Wheeler District in Oklahoma City, Russell and Tabitha Clark of R&R Homes approached Building Culture with the vision of creating a human-centered, people-first neighborhood that blends residential and commercial uses.

Schematic Site Plan



South Anderson Road

SE 29th Street

This type of mixed-use master plan with a variety of housing is still considered unconventional by many municipalities and planning professionals today. For the past century, America has primarily built single use residential subdivisions incentivized by postwar FHA and VA loan products. These developments are frequently filled with a homogenous housing product type and designed for automobiles at the expense of the human scale.

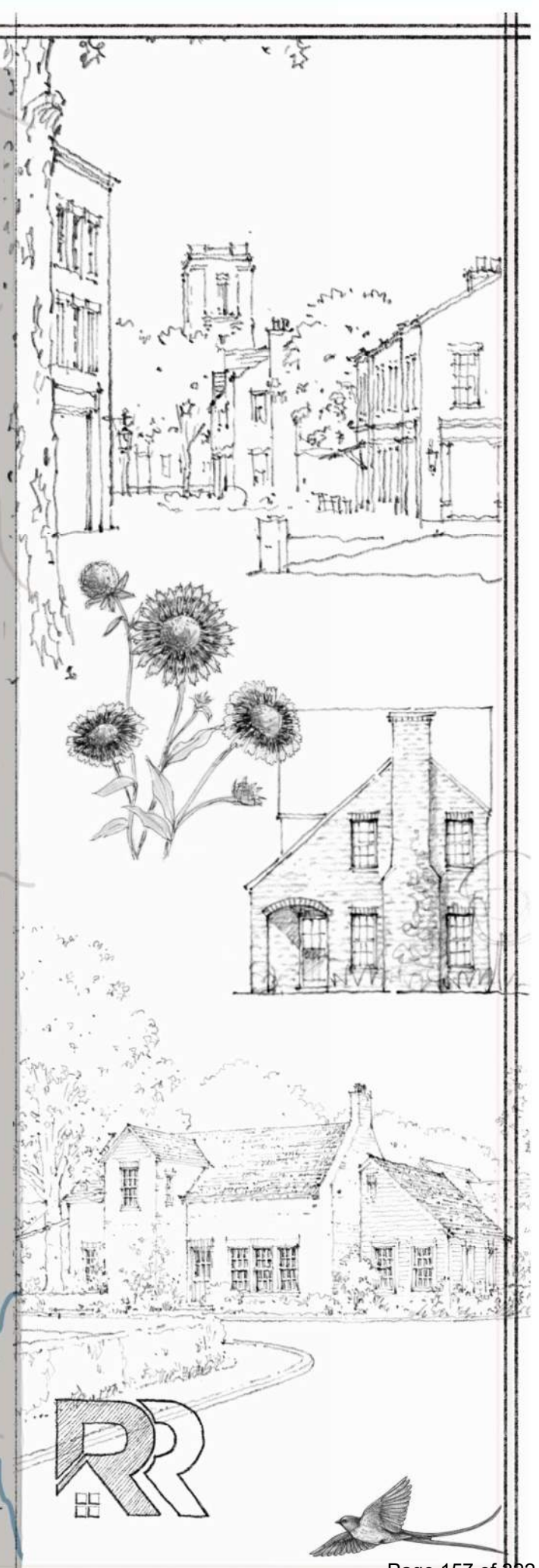
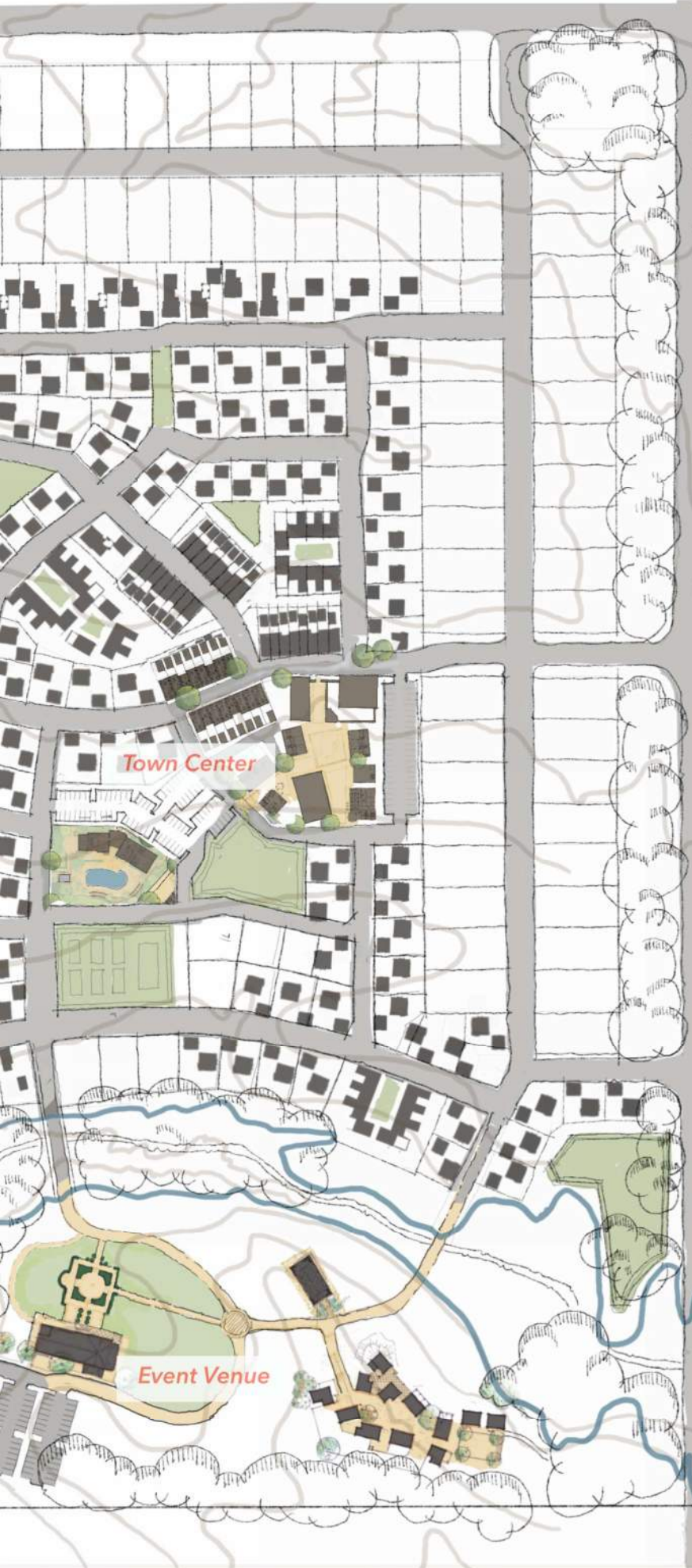
Modern consumers' needs and preferences are not satisfied by isolated car-dependent subdivisions. A recent poll from the National Realtor Association found that 79% of people considered it important to be within an easy walk of other places and things (besides housing) including shops and parks. 63% of American households are one or two people, and 79% are between one and three. The benefit of varied housing types that allow people to remain in their neighborhood as their circumstances change (aging, upsizing, downsizing, etc.) has been widely documented. Consumers recognize the value of human scaled neighborhoods that are beautiful, convenient, and safe.

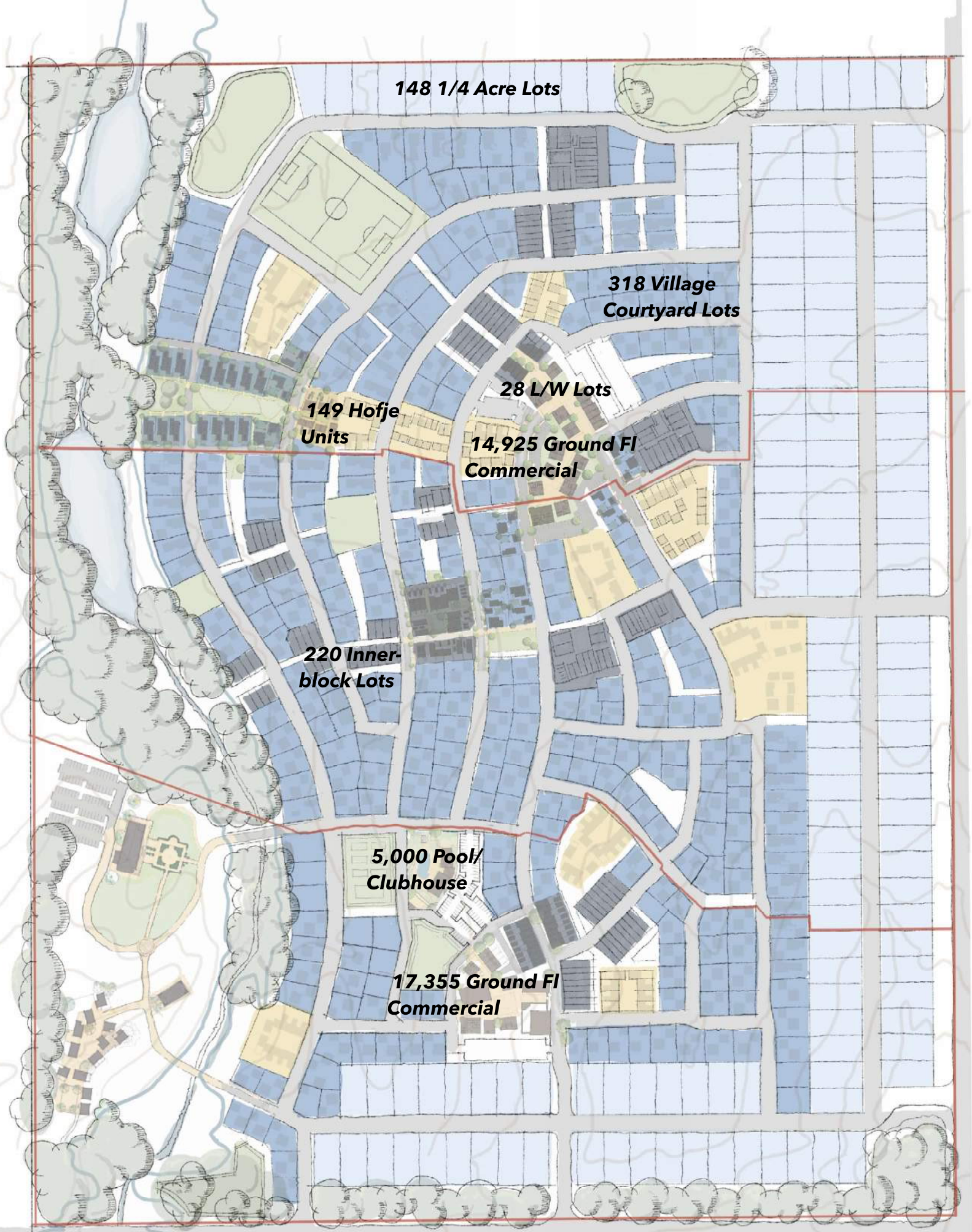
Many municipalities and professionals today are still partial to suburban subdivision-style development because it is standard and relatively easy to plan and execute; it is what most people are used to. This can present challenges: a human-scaled mixed-use neighborhood may seem foreign because it is 'new' and different, and most modern municipal codes, engineering standards, and zoning structures were written with the subdivision rather than the village in mind. However, dozens of flourishing TND neighborhoods built in the past three decades demonstrate that this form of development is feasible and worthwhile if we have the fortitude to realize it. Humans have been building variations of the village pattern for thousands of years, yielding most of the world's most beloved towns and cities in the process.

The masterplan and urban design principles outlined in this book are designed to serve as a generative planning guide, rather than a rote, prescriptive code. This plan focuses not only on how parcels are laid out but also on how buildings and landscaping define each outdoor space, whether that is a street or a private garden. The masterplan lays out lots, and this book contains principles which should be used to lay out buildings on each parcel. The definition of space is equal or greater in importance to the buildings themselves, and care should be taken to configure the elements of each parcel thoughtfully using these strategies.



# A New Town





**148 1/4 Acre Lots**

**318 Village  
Courtyard Lots**

**28 L/W Lots**

**149 Hofje  
Units**

**14,925 Ground FI  
Commercial**

**220 Inner-  
block Lots**

**5,000 Pool/  
Clubhouse**

**17,355 Ground FI  
Commercial**

### **Phase 1**

241 For Sale Lots (including live/work)

303 Dwelling Units

- **105** Village Courtyard Lots
- **52** 1/4acre Lots
- **66** Inner-block Lots
- **62** Hofje units
- **18** Live Work Lots
- **9,900sf** of Ground Floor  
Commercial in Five Buildings

### **Phase 2**

293 For Sale Lots

347 Dwelling Units

- **163** Village Courtyard Lots
- **48** 1/4acre Lots
- **82** Inner-block Lots
- **54** Hofje units
- **0** Live Work Lots
- **5,025sf** of Ground Floor  
Commercial in Two Buildings

### **Phase 3**

157 For Sale Lots

195 Dwelling Units

- **69** Village Courtyard Lots
- **48** 1/4acre Lots
- **40** Inner-block Lots
- **28** Hofje units
- **10** Live Work Lots
- **17,335sf** of Ground Floor  
Commercial in Six Buildings
- **4,916sf** Pool + Clubhouse
- Wedding Venue and Guest  
Cottages



**New Town MWC**  
**Phase 1 A**

**New Town MWC**

**Phase 1 A**

148 for sale lots (including live/work)

168 Dwelling Units

- **53** detached for sale
- **27** 1/4 acre lots
- **52** Townhouse Lots
- **20** Hofje units
- **18** Live Work Lots
- **9,900sf** of ground floor commercial in 5 buildings

## Riverview Villages

### Phase 1 (A & B)



## Riverview Villages

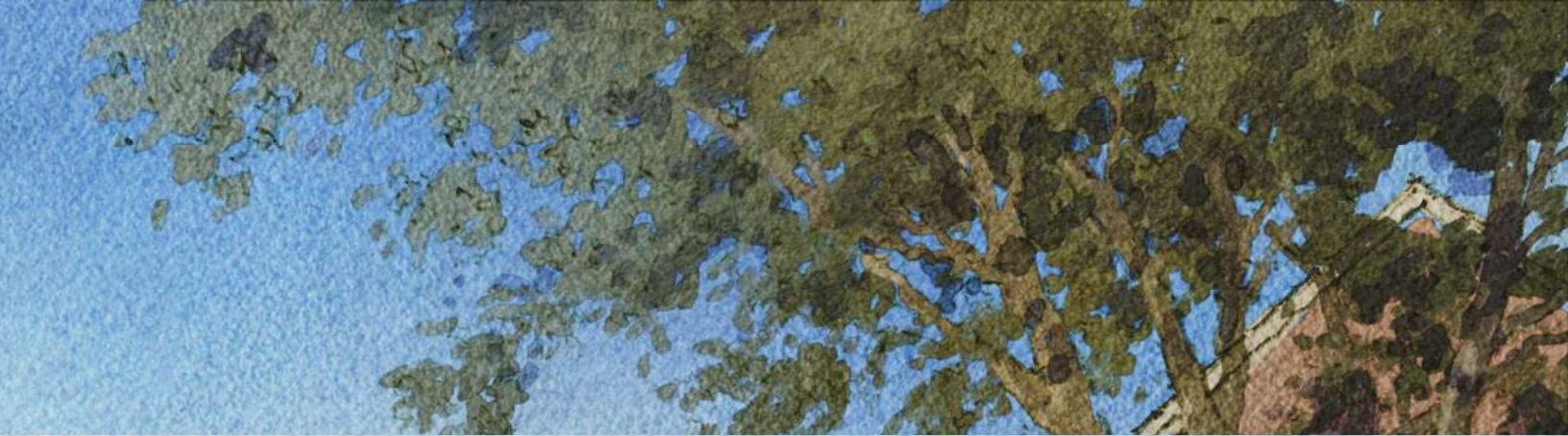
### Phase 1 (A & B)

150 for sale lots (including live/work)

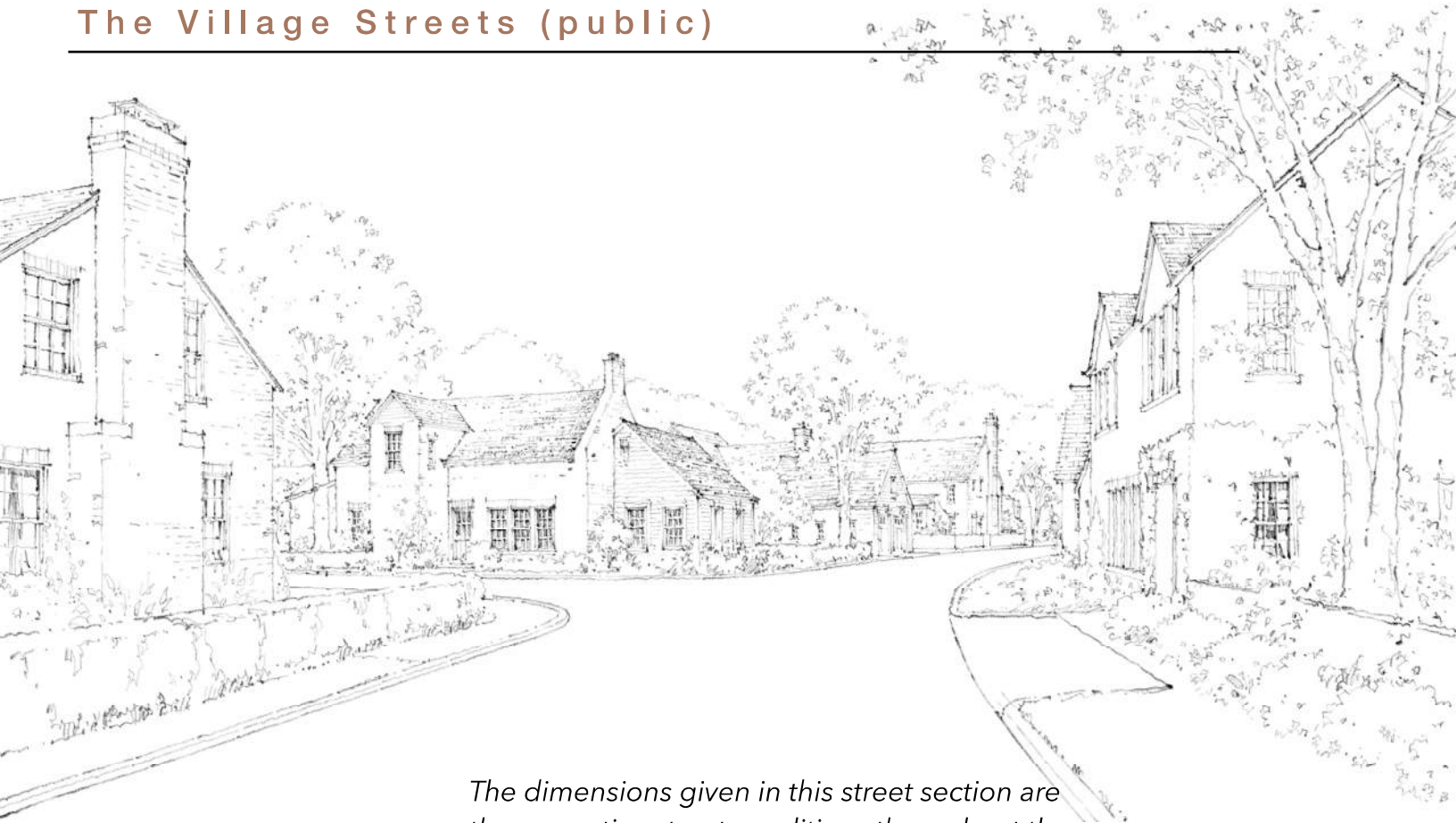
170 Dwelling Units

- **86** detached for sale
- **0** 1/4acre lots
- **14** Townhouse Lots
- **32** Hofje units
- **11** Live Work Lots
- **7,400sf** of ground floor commercial
- **4800sf** of event space

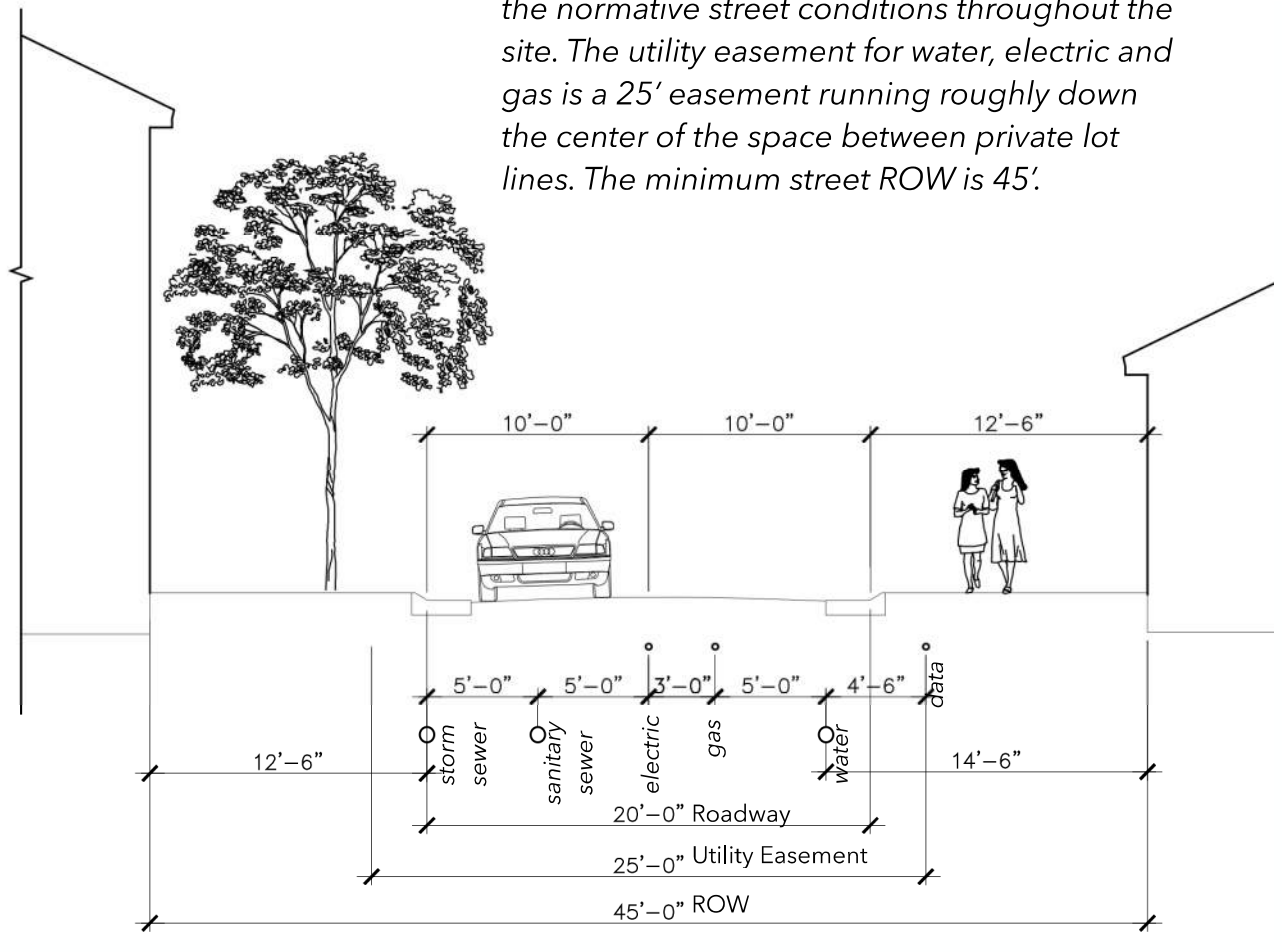




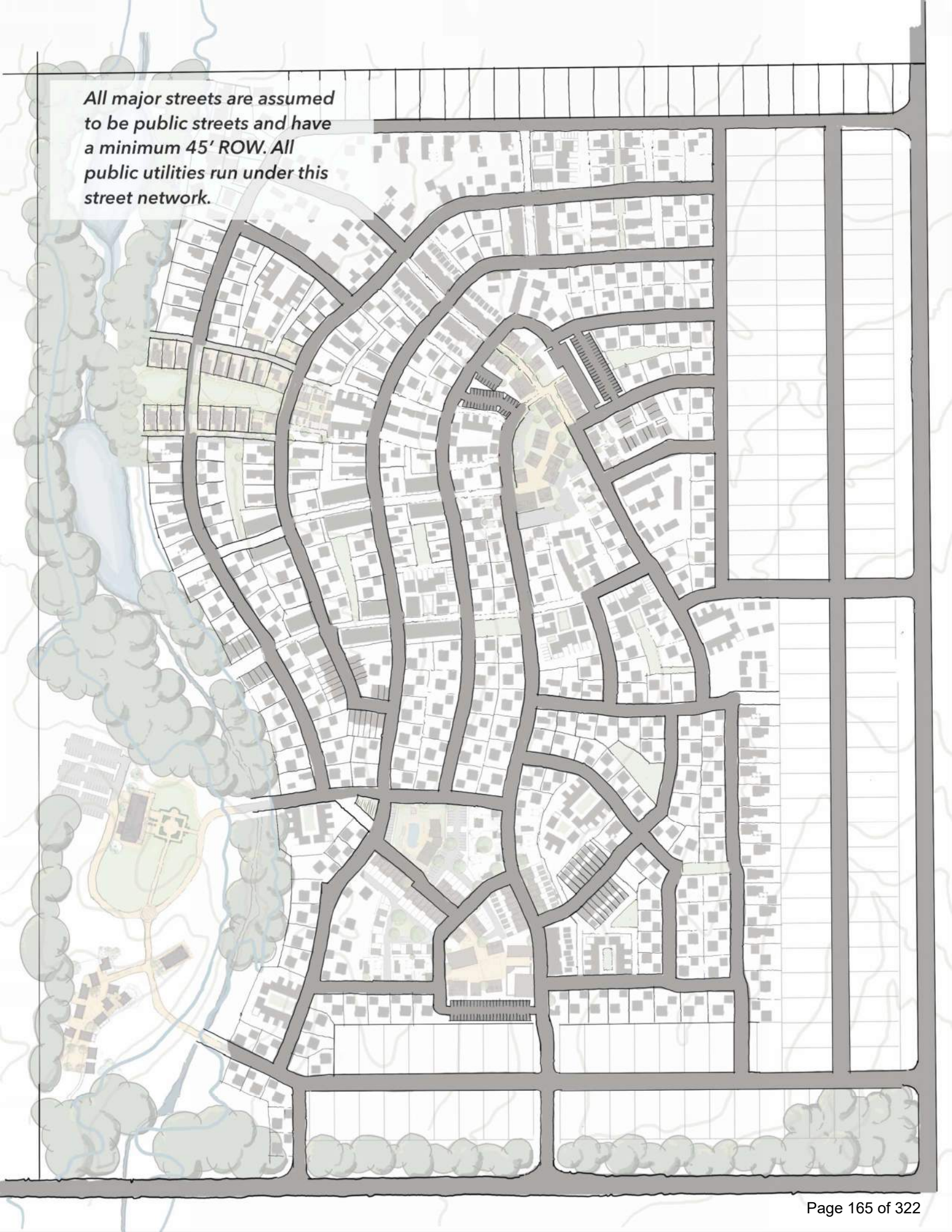
# The Village Streets (public)



The dimensions given in this street section are the normative street conditions throughout the site. The utility easement for water, electric and gas is a 25' easement running roughly down the center of the space between private lot lines. The minimum street ROW is 45'.



*All major streets are assumed to be public streets and have a minimum 45' ROW. All public utilities run under this street network.*

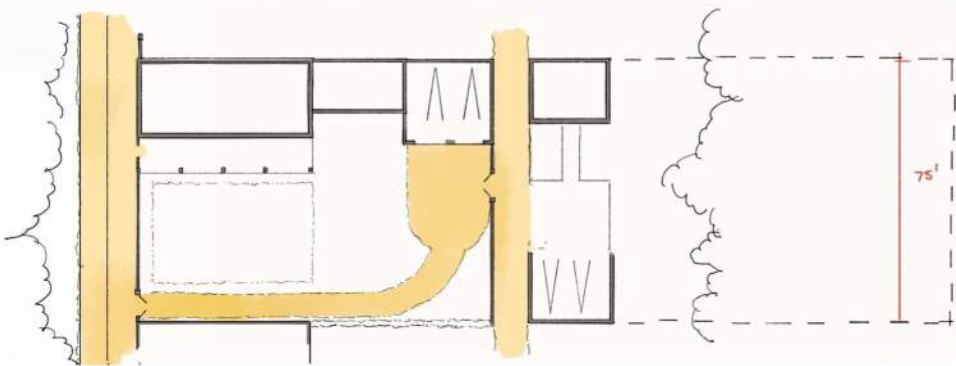


## 1/4 Acre Lot (75' x 150')

### Single Family Detached

These larger lots form the perimeter of New Town. They could be developed in a conventional manner, or with a side-yard layout like the Estate Lots of Riverview Villages

**Side yard** lot faces are intended to hold the entirety of the street edge by placing main house, garden wall and drive entrance all along the property line. These gracious lots and park are inspired by the excellence of Southern courtyard living. They are a combination of the Charleston Side-yard and the Savannah Square. The drive entrances are often the grandest moment along the street edge. They celebrate coming and going from the home and their beauty is a gift to the public street and park.



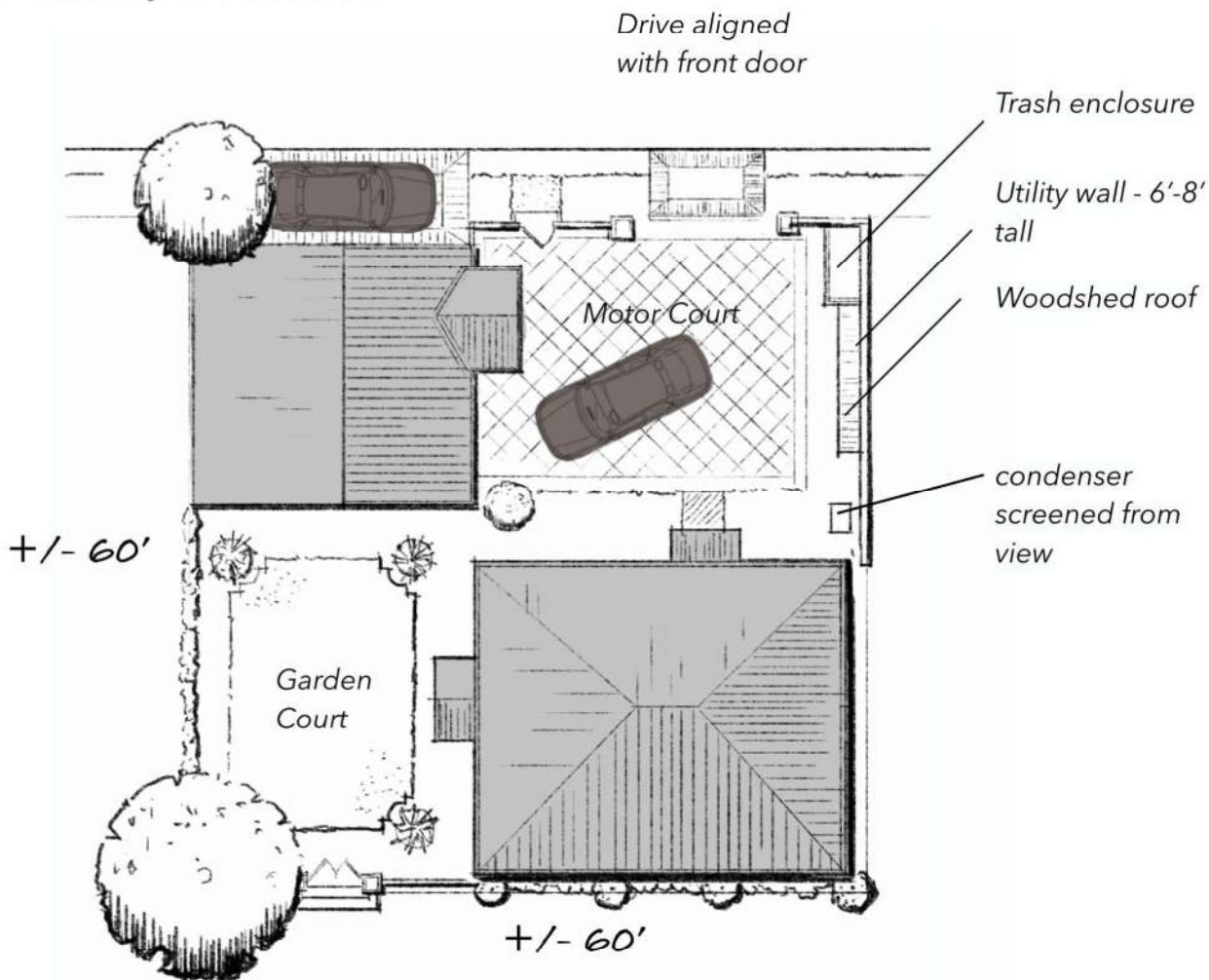
Buildings are held to one side (probably the North) of the lot forming a courtyard adjacent. The street edge is formed continuously by building, wall and drive gateway.



Image; a 'side-yard' home in Charleston, SC

# Village Courtyard

## Single Family Detached



The single family lot fronting onto a village street is the basic building block of the neighborhood.. There are many ways to arrange buildings on this lot, but the key design principle is to form spaces by building along the perimeter of the lot (see design principle **'Perimeter Lot'**).

A key component to this lot is its efficient maintenance. In the layout shown above, no mower would be required and all grass trimming could be done with a battery weed-trimmer.

## The Inner-block

### Public spaces maintained by the HOA

#### The Inner-block Woonerf: A Living Street

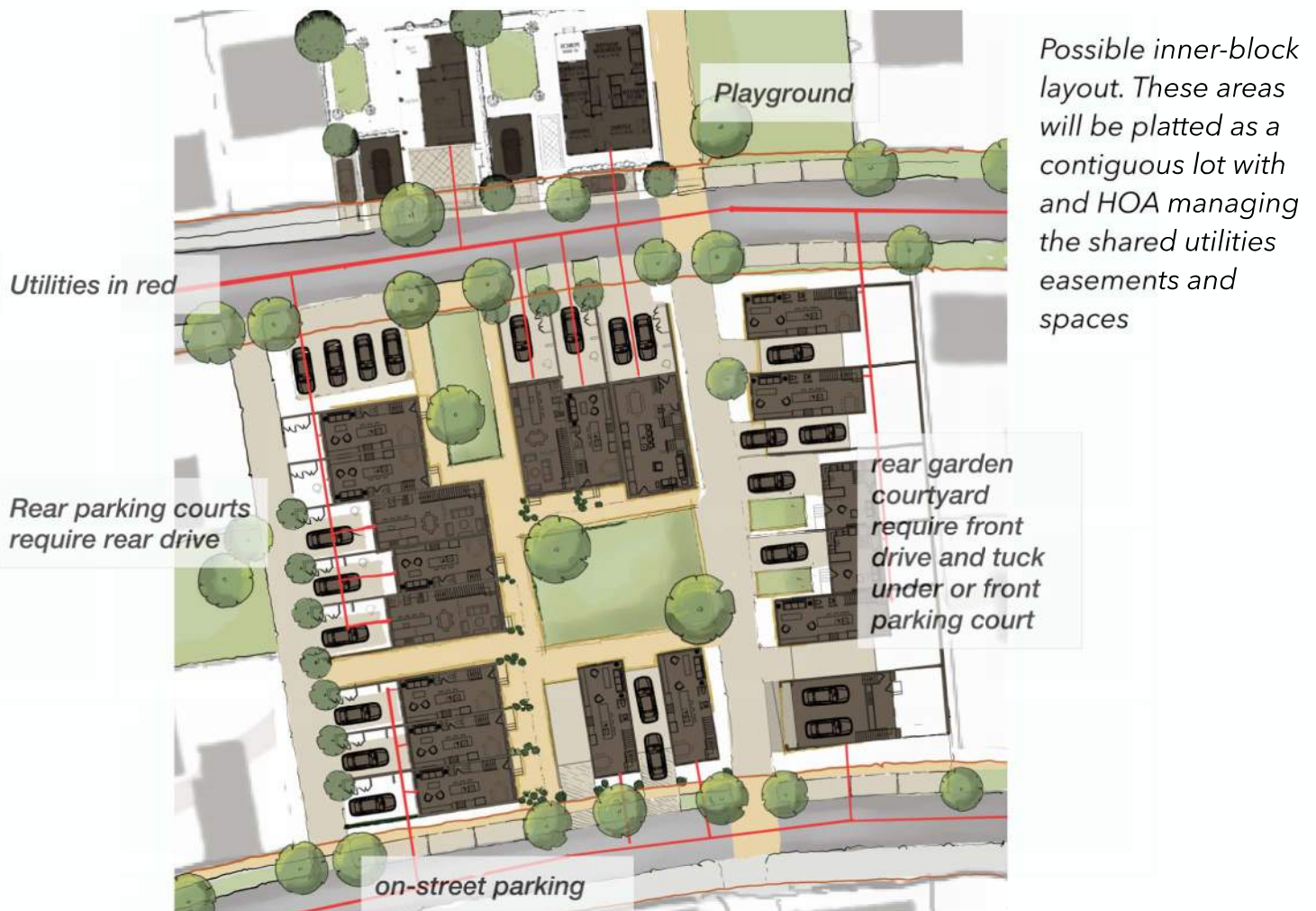
A *Woonerf*—Dutch for “living street”—is a shared street design where pedestrians, cyclists, and vehicles coexist. By removing curbs and traditional lane markings, the entire street becomes a flexible public space, encouraging slower speeds, greater awareness, and community interaction. Like the *Woonerf*, Inner-block spaces should prioritize people over cars. Traditional sidewalks can imply that vehicles dominate, but a human-scale approach flips this hierarchy—placing pedestrians and cyclists at the center of the environment.

#### Pedestrian-First Design

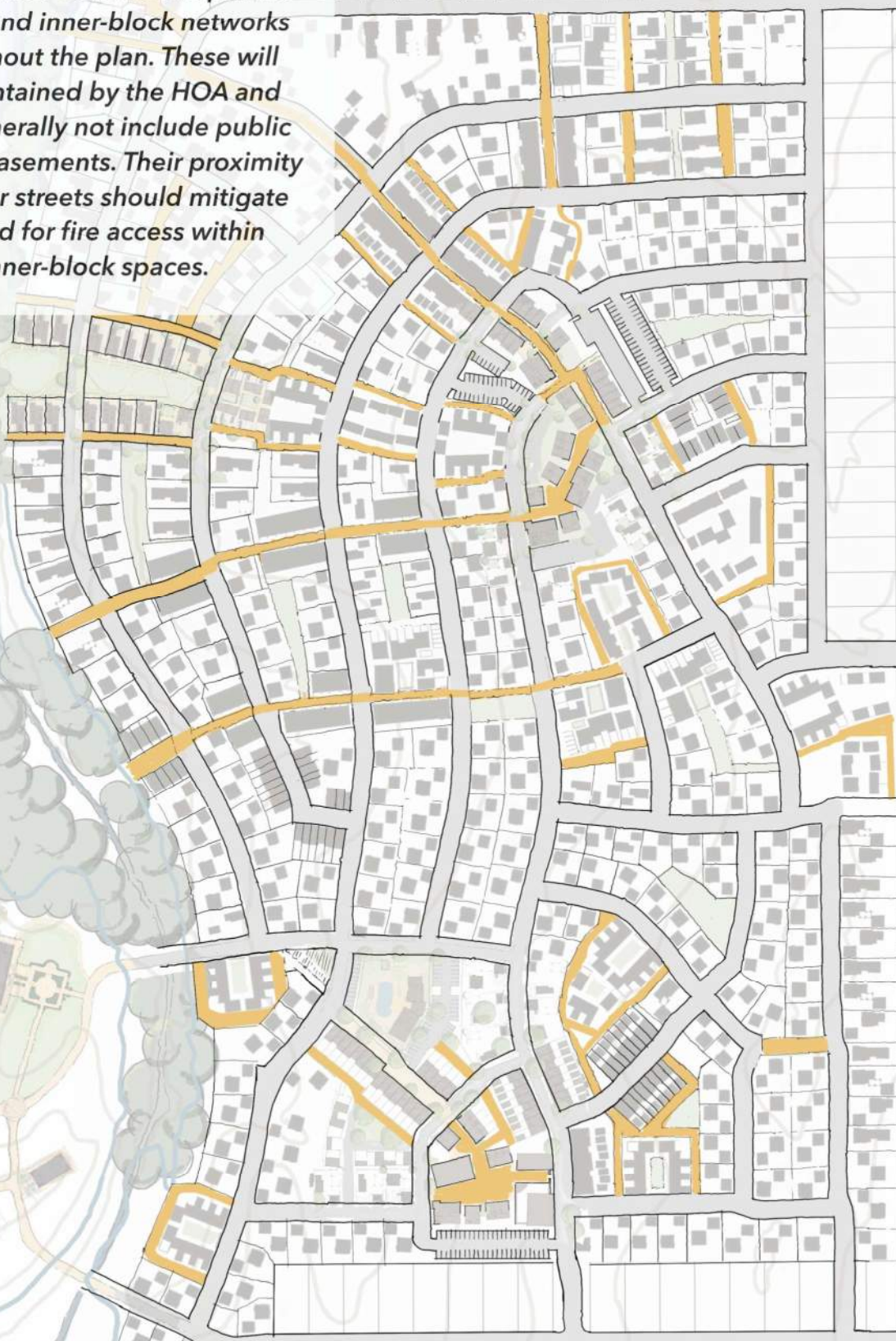
Without raised sidewalks or designated lanes, drivers slow down and treat the street as shared territory. This fosters safety and allows for more spontaneous social interaction, encouraging children to play freely and neighbors to engage casually.

#### The Street as Public Realm

A *Woonerf* is not just for travel—it is a community space. Thoughtful design elements like paving patterns, planters, and green-scaping signal shared use, calm traffic, and transform the street into a beautiful and vibrant part of daily life.



*Highlighted here are the private drives and inner-block networks throughout the plan. These will be maintained by the HOA and will generally not include public utility easements. Their proximity to major streets should mitigate the need for fire access within these inner-block spaces.*



The Inner-block

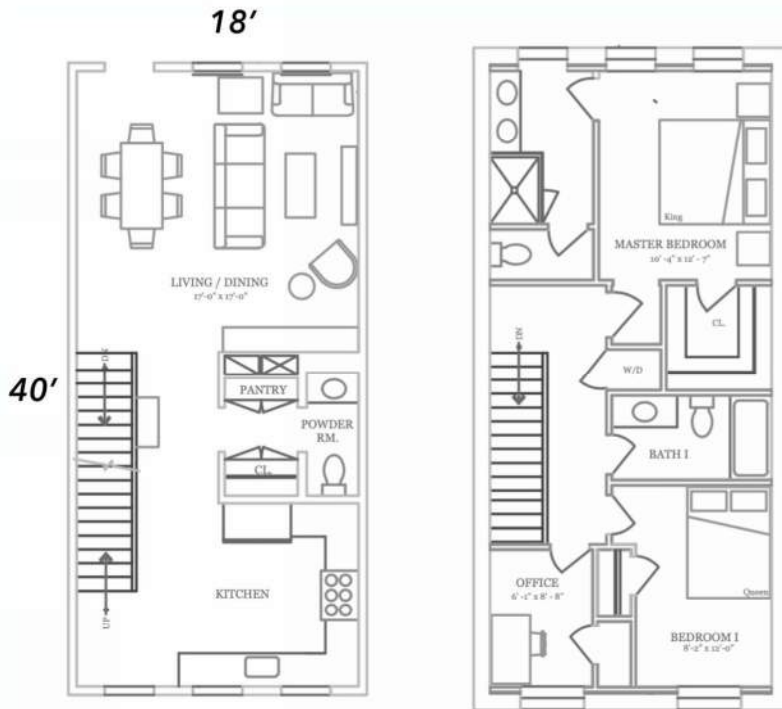
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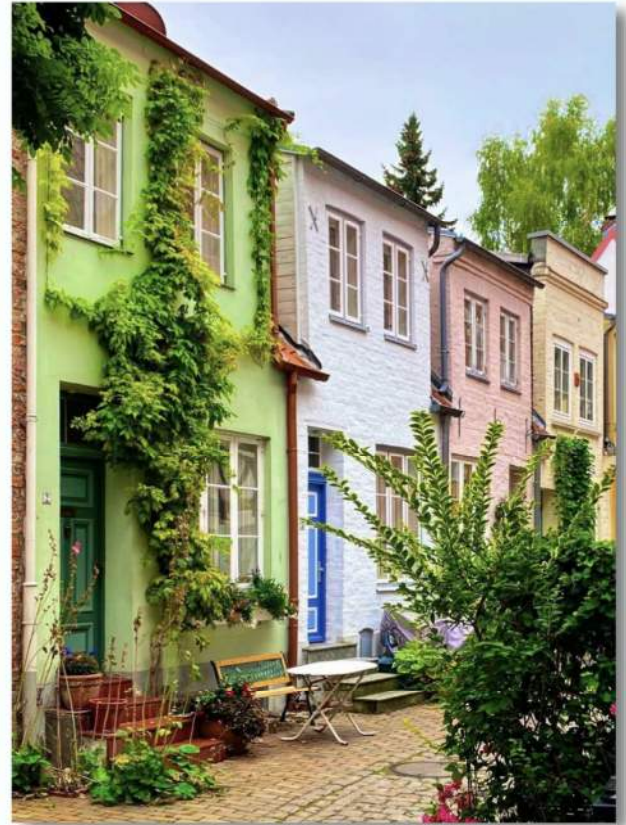


# Townhouse

Single Family Attached  
(parking behind)



Possible townhouse layout



Most inner-block spaces are formed by attached townhomes. These streets will be private, and should require no fire access.

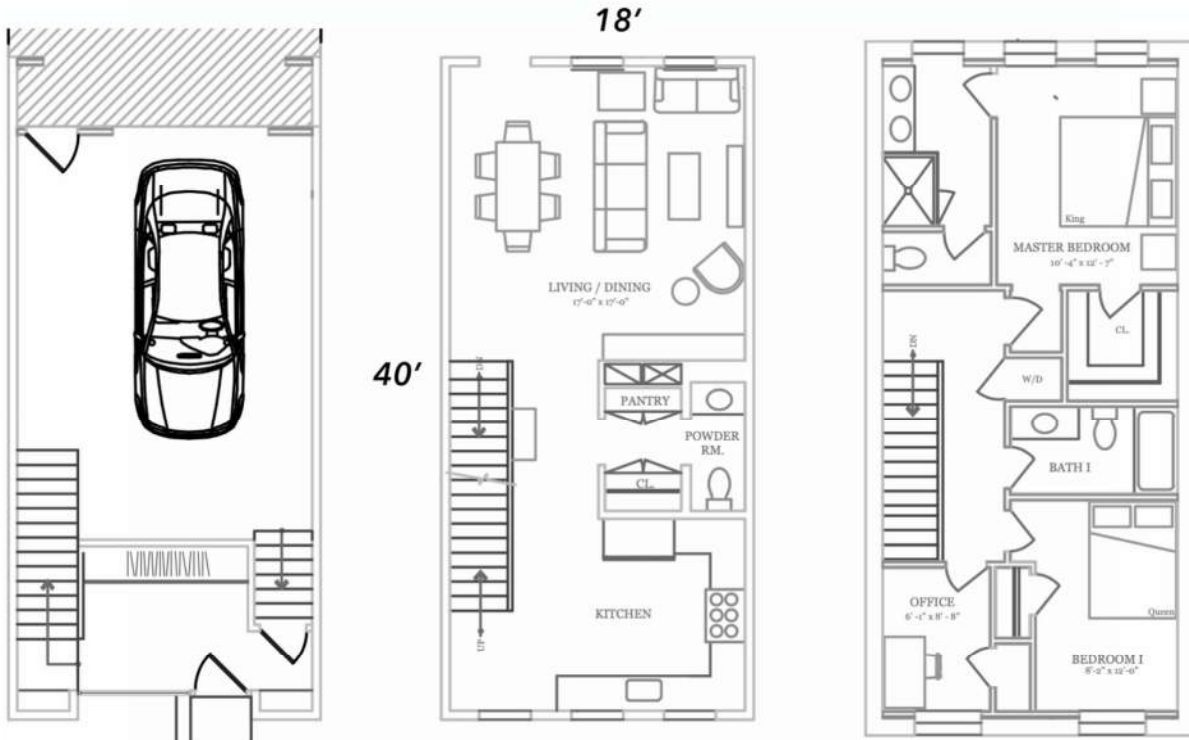
This townhome with ground floor living requires a rear lane for parking. Utility easements should be split between front and back to best accommodate the narrow street section.

The street between the fronts of the houses should be paved with Decomposed Granite or some form of pavers.

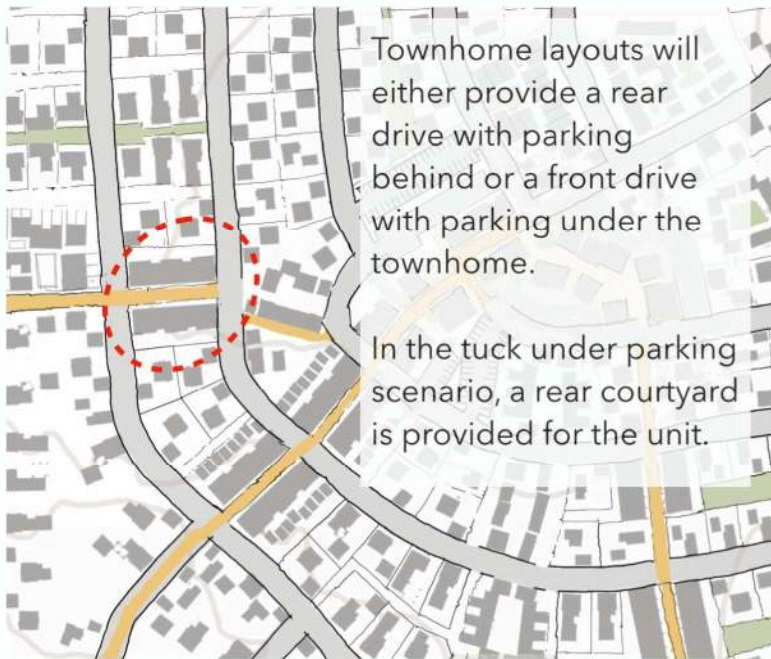


# Townhouse - tuck-under

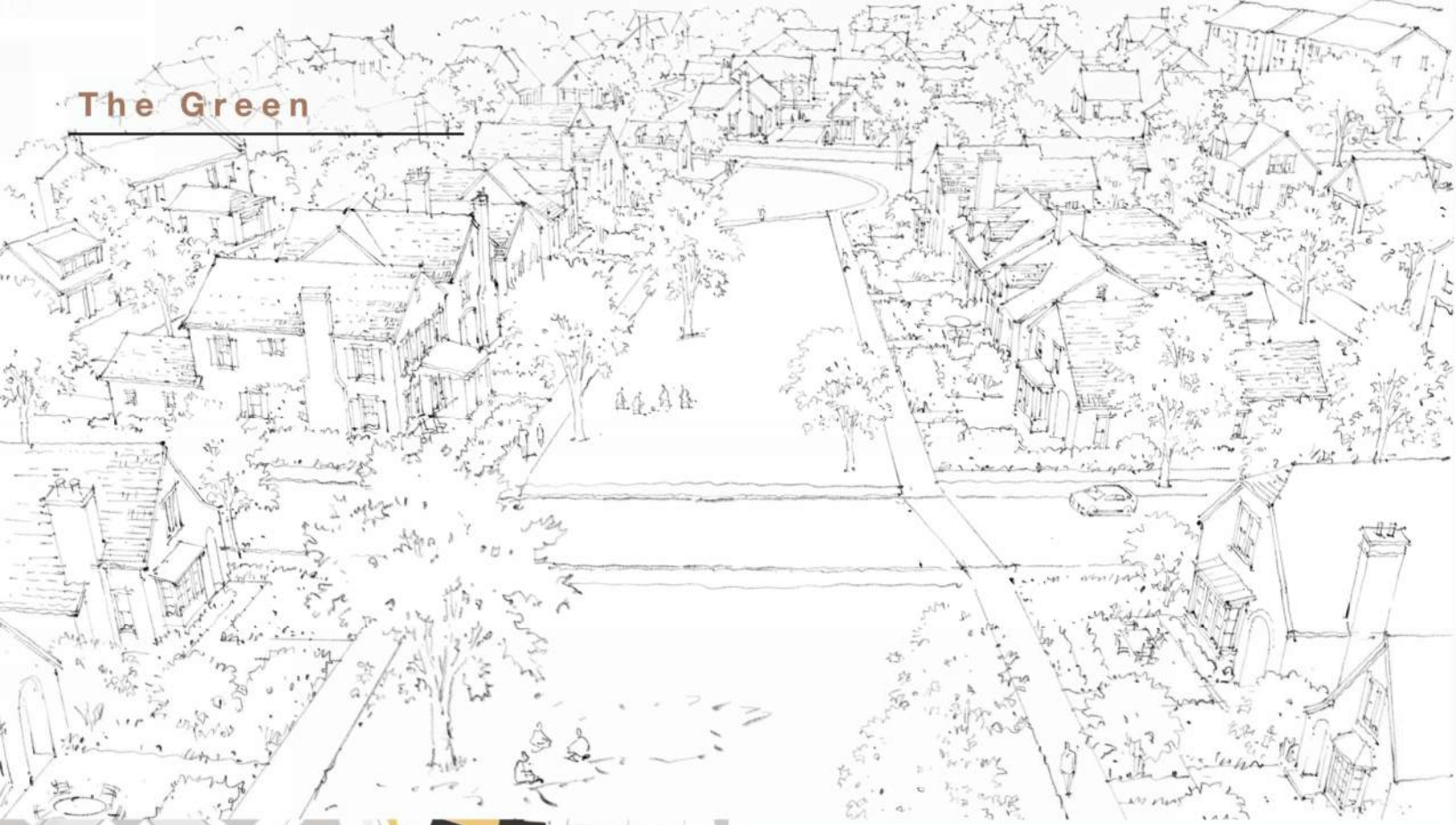
Attached Townhouse  
(tuck-under parking)



Possible townhouse layout including tuck under parking



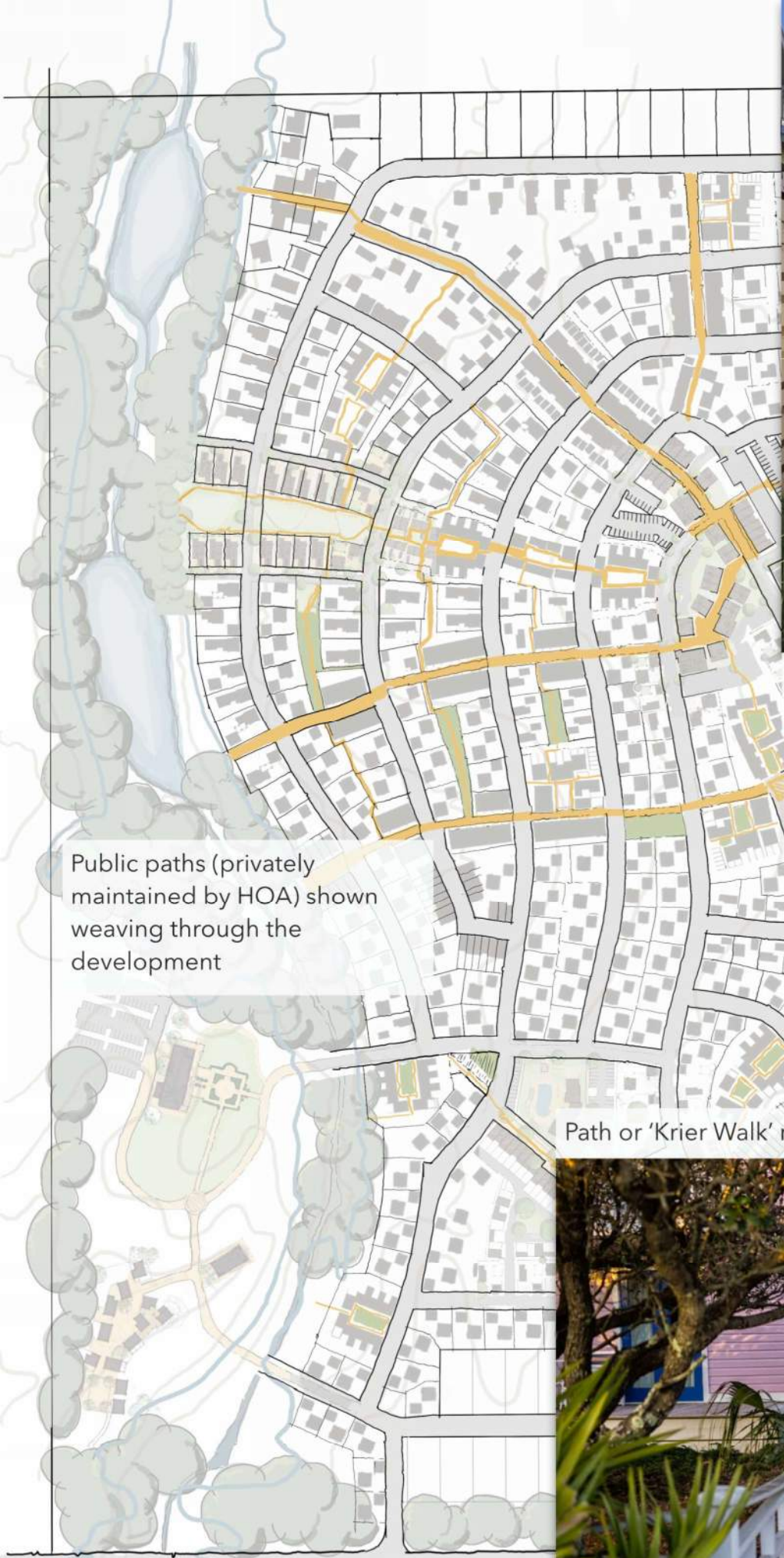
## The Green



The public Village Streets bring utilities, deliveries, provides fire access and general vehicle traffic throughout the neighborhood.

Inner-block, privately maintained streets, generally run perpendicular to the public streets and connect to the forested Western edge of the development. They are generally fronted by smaller attached homes.

Inner-block paths connect private streets through shared greens. The 'Green' is the largest of these public spaces and is part of a continuous path network that leads from the Market Street Shambles to the Forest edge.



Path through shared green; Carlton Landing Oklahoma.

Public paths (privately maintained by HOA) shown weaving through the development

Path or 'Krier Walk' running between lots; Seaside Florida



iStock  
Credit: krblokhin

The Green

---





# Market Street 'Shambles'

## Commercial Center



**Possible Phase 1** of the 'Shambles' commercial center. Fire access is kept to the perimeter - this area should be designed with no curbs and as much around the pedestrian as possible. The buildings that form the square are intimately tied to the public space and will need to be designed at the same time.

Precedent images of market stalls forming space at Seaside Florida and masonry tower shaping space in European town center.





- Phase 2**
- Building A**
    - 3,400sf
  - Building B,C &D**
    - 4,875sf total
  - Live/Work**
    - 11 buildings
    - 6600sf total



Market Street

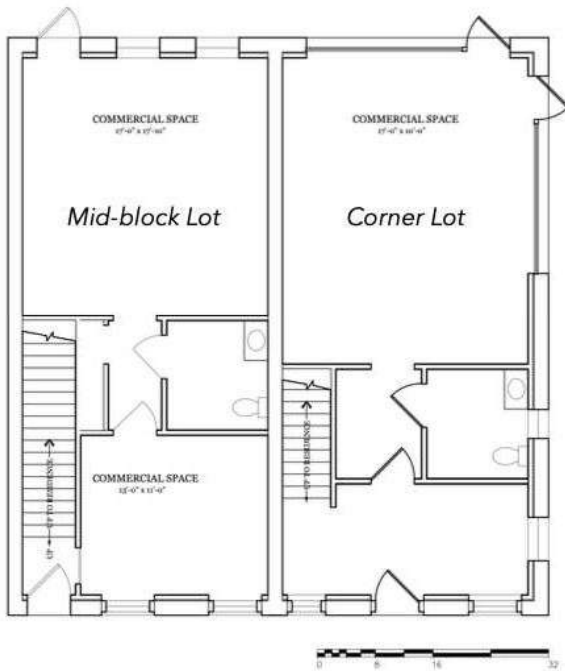


© Zanetta Illustration

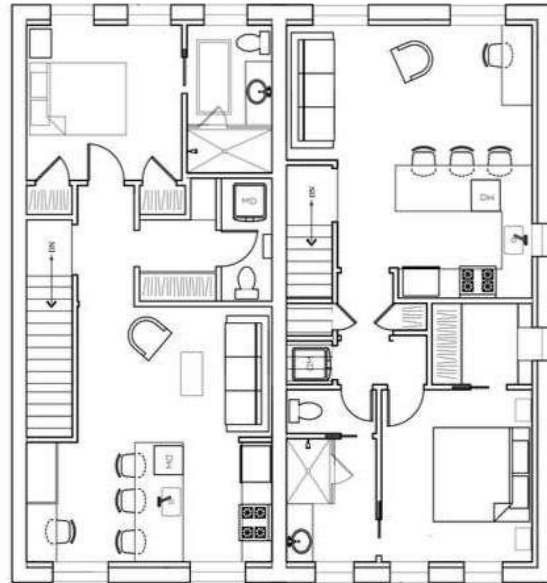
# 18' LIVE WORK 1440sf - 1BR 1 1/2BA

Attached Single Family or Multi Family  
(adjacent parking)

First Floor



Second Floor



These units have small ground floor commercial spaces and second floor living - all within conventional residential codes and financing structures. These are essentially townhouses with retail or office on the first floor. Traditionally the owner lived above with his office or shop below. Live work units are common in traditional towns and villages and have recently been built in the Wheeler District in OKC.



# Hofje

## Attached Single Family or Multi Family (adjacent parking)

The environment in which we inhabit, shapes the way we live our lives from, childhood till old age, and encourages or discourages how we interact and build community with those around us. The Hofje of the Netherlands offers a strikingly beautiful example of homes designed for active seniors wishing to downsize.

*Possible layout of one of the many Hofje lots within the development. Generally these are single story buildings facing onto shared courtyard gardens.*



# Event Venue

## Wedding Venue and Cottage Cluster



To the west of the site, across the valley is the event venue campus. A possible wedding venue layout is shown. Streets within this area would be privately maintained and would include an easement for public utilities and provide fire access.



# Town Center

## Commercial Center and Clubhouse



# PART 2

## GENERATIVE DESIGN PRINCIPLES

### Armature and the Scale of Settlements



- **“Armature** - the organic pattern formed by the network of paths created by movement in nature. It is the framework of paths through the forest that the hunter knows. It is the topographical border that determines the edge of the field and the edge of the forest. It is a pattern that can be found throughout nature and is the framework for the unplanned arrangements of human settlements. It is a multi-determined system explained only in part by the theory of ‘desire paths’ and the natural and ever changing form of the landscape, cultural and social patterns both universal and regional.”

-Douglas Duany

- Armature becomes critical when designing at the scale of a town or city.

Tibet



Image: Douglas, Duany

English Landscape



Image: Brecon Beacons National Park, -National Parks Commission

Plans and developments shown at the same



Riverview Villages - Newcastle, OK



Carlton Landing, OK

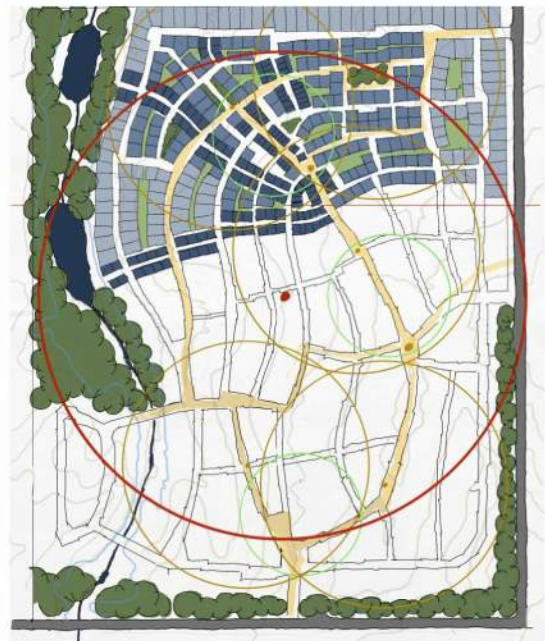


Wheeler District - OKC



Serenbe - Georgia

**10min walk**  
**660' radius**



New Town - Midwest City, OK

## Placing buildings

### Design Principle

Every building or wall should be placed so as to help shape a new space

#### **"Positive Outdoor Space;**

Outdoor spaces which are merely 'left over' between buildings will, in general, not be used... *Make all the outdoor spaces which surround and lie between your buildings positive.* Give each one some degree of enclosure; surround each space with wings of buildings, trees hedges, fences, arcades and trellised walks, until it becomes an entity with a positive quality and does not spill out indefinitely around corners"

-Christopher Alexander  
Pattern 106

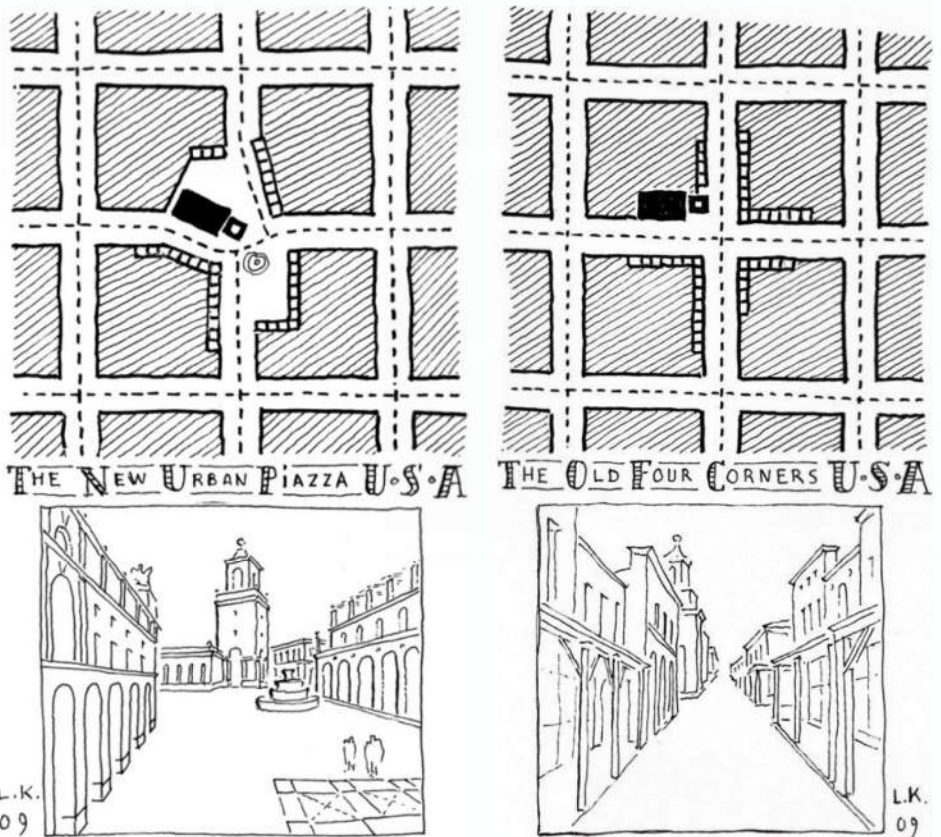
#### **"Degrees of Publicness;**

People are different, and the way they want to place their houses in a neighborhood is one of the most basic kinds of difference. Make a clear distinction between three kinds of homes - those on quiet backwaters, those on busy streets, and those that are more or less in between."

-Christopher Alexander  
Pattern 36

"In a Chris Alexander type generative code, every building helps shape a new space. This is more a drawing rule, surprisingly hard to explain ...I explained it once to a fellow designer as *"there is no contiguous open space in the private realm, even when separated by walls."* Of course, a series of attached buildings is solid. Chris says, *"The more spatial centers a space has, the more human is."* As you go from room to room, perhaps, each has an interesting center, then into an open space or piazzetta (a small plaza), hallway, etc. - providing more of a, for example, *"street as place"* rather than simply *"street as corridor."*

-Douglas Duany



Image; Leon Krier

## Perimeter Lot

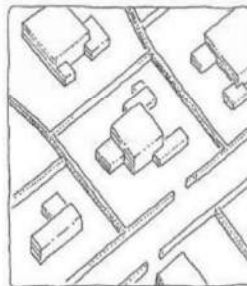
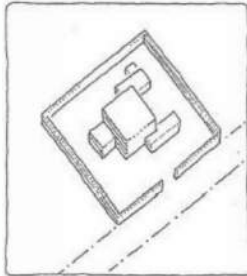
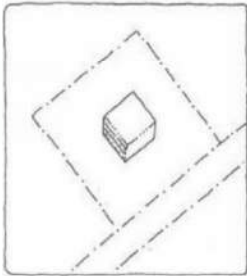
### Design Principle

Place buildings and walls on the edges of the lot so as to form courtyard rooms within.

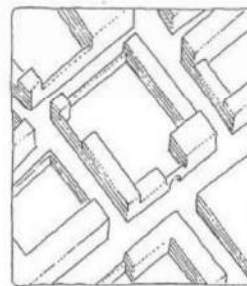
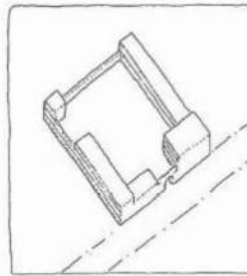
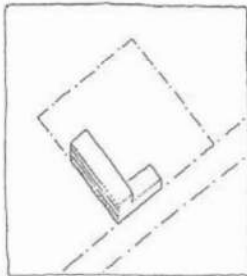
"Perimeter lots. A Krier rule that can be re-stated as: *buildings should be sited on the perimeters of their lot.* Too often, they are centered mid-lot."

-Douglas Duany

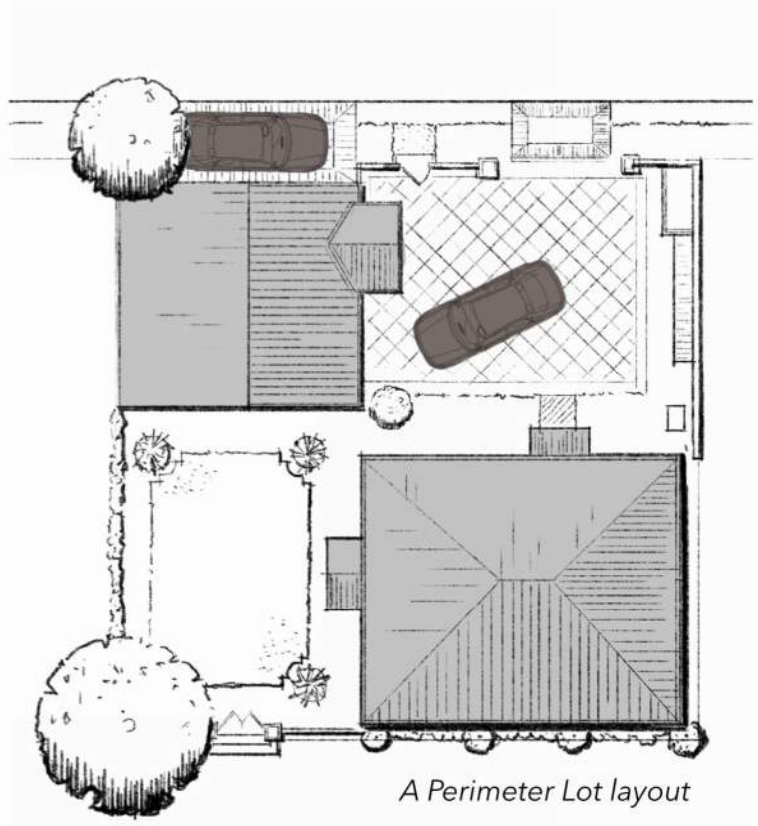
### Suburban



### Village



Image; Leon Krier



A Perimeter Lot layout

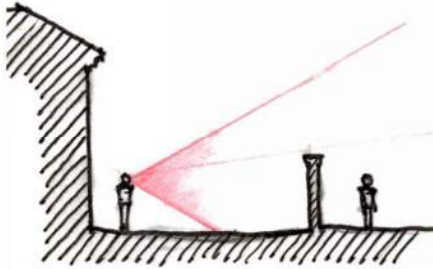
**"Building Fronts;** Building set-backs from the street, originally invented to protect the public welfare by giving every building light and air, have actually helped greatly to destroy the street as a social space. On no account allow set backs between streets or paths and the buildings which front them."

-Christopher Alexander Pattern 122

## Walls

### Design Principle

Walls should can be used to form space. Where buildings generally need to engage the majority of the 60 degree cone of vision to form a space, walls give a sense of containment at a lower height. The most loved village spaces are usually a combination of walls and buildings.



Most loved village streets are often defined in part by garden walls, usually of masonry or hedges. Walls can also be formed by solid wood fences, bushes, trees or other elements arranged so as to delineate and form space. Walls are often between 5'-8' tall needing simply to provide privacy to both sides. Masonry walls are often planted with climbing ivy, shrubs, overhanging trees or other signs of gardens and nature.

***The most photographed street in America is Acorn Street in Boston.*** One side of the street is a brick garden wall with ivy hanging over the top.

Hedges are used as walls to form the inner-lot spaces of the motor court and garden court and the public spaces of the street and 'village green'.



Stolls Alley - Charleston, SC - Image; *Hidden Walks of Charleston*



Acorn St., Beacon Hill in Boston

## Courtyards

### Design Principle

Always create courtyards. With 'Walls' and 'Placing Buildings' to form a 'Perimeter Lot' you are left with the opportunity to see the area within the private lot as a series of outdoor private rooms.

The checkerboard layout of buildings and the accompanying perimeter hedges creates two exterior 'rooms' or courtyards. In this layout, these are Motor-court and Formal Garden, but the garage could face the street allowing the motor court to turn into pool and patio, and perhaps the first floor ADU space of the garage turns into a small pool house. Maybe the formal garden becomes a grill and dining patio, with a kids sandbox and play area on one side.



**Enter through the courtyard;** Transitional space is an essential component to the experience of entering a home and providing privacy to and from the public realm.

**"Intimacy Gradient;** Unless the spaces in a building are arranged in a sequence which corresponds to their degrees of privateness, the visits made by stranger, friends, guests, clients, family, will always be a little awkward. Sequence of spaces from most public - to most private"

-Christopher Alexander Pattern 127

**"Layers of Personal Space;** In our pocket neighborhoods, we work to create five additional layers of personal space between the courtyard and the front door; a border of perennial plantings at the edge of the sidewalk; a low fence; the private front yard; the frame of the covered porch with a low "perchable" railing and a band of flower boxes; and the porch itself. These occur within a span of about 18 ft."

Ross Chapin, Pocket Neighborhoods

**"Half Hidden Garden;** If a garden is too close to the street, people won't use it because it isn't private enough. But if it is too far from the street, then it won't be used either, because it is too isolated. Place it in some kind of half-way position, side-by-side with the house, in a position which is half-hidden from the street, and half-exposed."


-Christopher Alexander

## Privacy

### Design Principle

*"All windows must feel as if they are private. In effect, all buildings must be placed to have window-to-window privacy, including their front. Privacy is the most important rule required by modernity."*

-Douglas Duany

- First floor windows on the side of the house facing the neighbor's courtyard should be raised to a height that provides privacy to the courtyard. Second floor windows on that same side should be minimal - preferably bathroom or hall windows.
  - Trees with canopies at the height of second floor windows provide the feeling of privacy - this is one of the reasons for small greens in the middle of the street.
- 
- Place buildings so that they checkerboard with courtyards across the green or street. This means that the windows from the home look across the street not at another home but at a courtyard
  - All windows should have an interesting view. Village views are typically;
    - a) Down the axis of the street;
    - b) To courtyards or side courts of the same lot;
    - c) To courts across the street;
    - d) To village greens
  - One strategy for privacy is to raise the finished first floor level of the home by adding steps. This should follow the traditional practice of multiples of 3 treads, which tie in with the human body, as follows:
    - a) 3 treads equalizes the height of the sitting eye with the standing eye outside. It's also the sitting module for outside benches.
    - b) Depending on the sill height, 6 treads generally achieves privacy for the body whilst sitting.
    - c) 9 treads grants sitting privacy from the street.
    - d) 12 treads gives atmospheric entry to the street, but the window must be approached from the inside to grant views.

## A Spectrum of Spatial Containment

### Design Principle

Public space can be formed with more or less solid walls. Culture, climate and context, should all play a role in determining the character of the street walls that form space:

Circus Lane is formed by tight party wall buildings creating a dense street frontage. St Michales Alley is formed by a combination of building front, gateposts, walls, outbuildings and trees.

The shape of the Village Street is what appears after the perimeter lot has been formed. Like the example at Alice Beach, the space between the hedges and garages becomes the form of the street with pots of plants and trees outside of the 25' easement and fire-lane.



Circus Lane, Edinburgh



St Michael's Alley, Charleston



Alys Beach, Florida

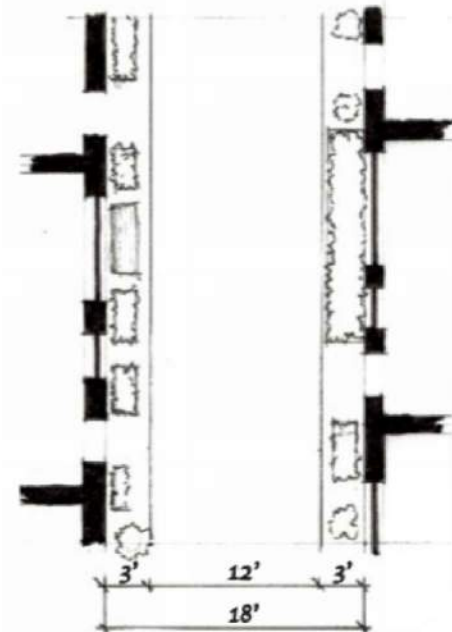
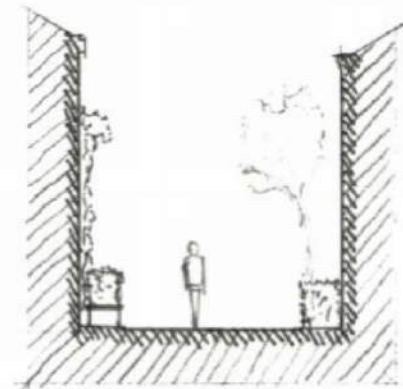
## Fina / Transitional Space

### Design Principle

Create a transitional space between the private realm of the home and the public realm of the street:

- Village Streets are typically residential, and require a layer of transitional space between the private world of the home and the public realm of the street. Without this, both the person inside the house, and the person walking along the street feel the lack of privacy.
- Hedges, vines, flowers and even trees are the best use of this space to create a residential character of street, and create privacy.
- The smallest unit of American urban development was the individual house, rather than the palazzo or court-yard apartment. This continued the building tradition of the English and Dutch which faced the street with the front entrance of a house as opposed to an entrance off of a courtyard. This prompted the development of the quiet, semi-private residential street where some of the privacy of the residential courtyard was created by planting a strip of garden along the street in front of the private home.
- **“Entrance Transition:** Buildings, and especially houses, with a graceful transition between the street and the inside, are more tranquil than those which open directly off the street.”

-Christopher Alexander Pattern 112



Circus Lane, Edinburgh

## Inner-block Urbanism

### Design Principle

"Inside the city block, you find the intimacy of the hamlet; the quietness and sense of safety that can bring families with children into the city."

-Douglas Duany

Inside the block at a human scale, the sense of place is extremely strong. These types of places can define a whole neighborhood or town. Human scaled spaces like these define a place - even if they account for a very little part of the overall square footage or cost of development

Two village scaled streets; The most photographed street in America and a top tourist destination in Europe, shown at the same scale as the masterplan.



*Acorn Street, Beacon Hill  
The Most Photographed Street  
in America*



*Same Scale as Plan*



*A top tourist destination in  
Europe; Bremen, Germany*



*Same Scale as Plan*



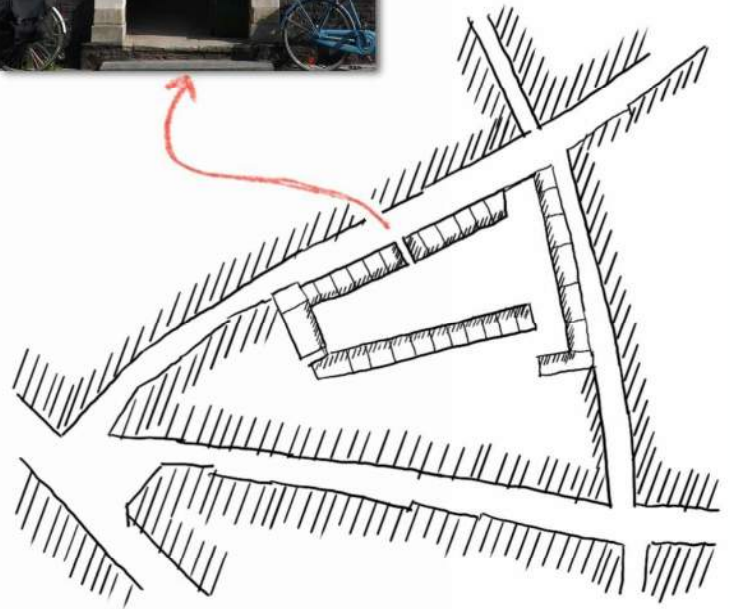
## Inner-block Hofje

Netherlands' most beloved housing model: the Hofje.

The inner block—which for traditional towns and cities is full of human-scaled courts, passages, narrow streets lined even narrower townhouses, and more—is finally being noticed in the United States. America's demographics are changing and so are its housing needs. There is a market demand for small rental housing options in walkable village centers. Our oldest neighbors are asking for housing options other than the institutional car-centered ones available now. Increasingly, human-scaled spaces and walkable lifestyles are more valued by consumers than the 20th century auto-oriented scale (and the price tag that comes with it)



Inner-block spaces are often reached through a doorway in the street wall as seen here.



The godshuizen of Bruges or Hofje of the Netherlands are typically built around an inner-block courtyard.



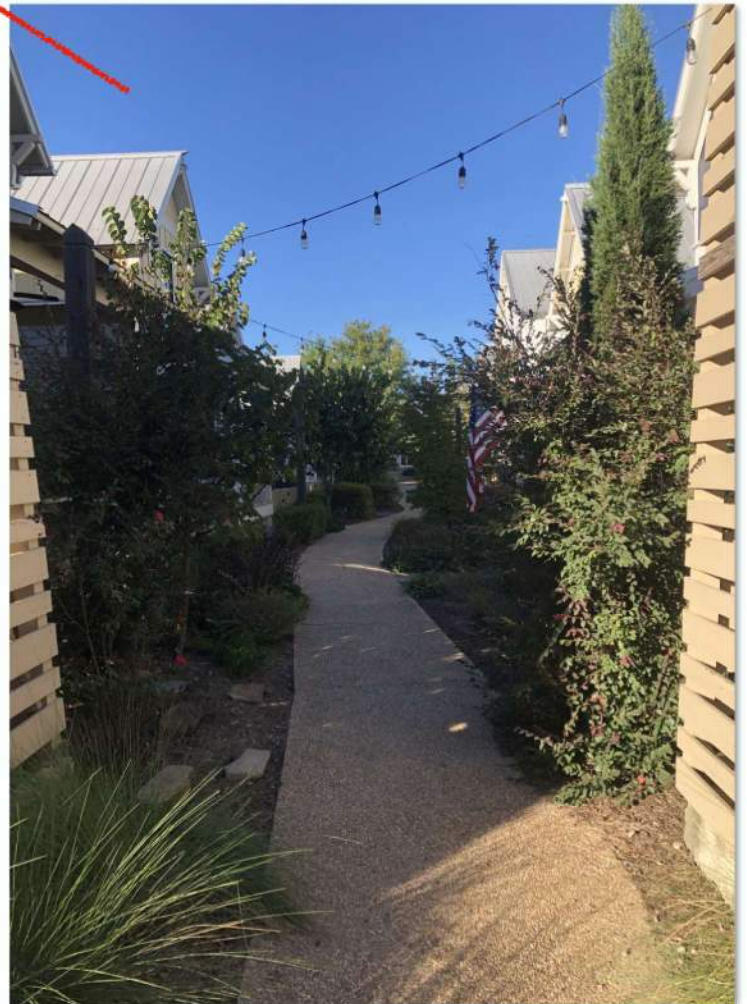
Image and diagram is of Godshuis De Muelenaere in Bruges

## Inner-block Urbanism

*Some of the most iconic places and marketing images of New Urbanist developments happen on very little land.*



**Human Scaled moments inside the block;**  
*Images; Carlton Landing Oklahoma*



## Visual Terminus

### Design Principle

Visually terminate streets.

- Avoid the endless section of the grid. This will deflate a pedestrian's experience of the city and give no clear termination and focus point.
- Provide street terminations, squares, or architectural focal points to create a series of spaces rather than an endless street section.

Curving streets reflect the topography of the site, and streets visually terminate as the street winds out of sight. The pedestrian moves at about 3mph and it is important to have keep the visual terminus short enough that it is still interesting to walk forward.



## Street Trees

### Design Principle

Street trees that provide a significant canopy do more to make a street pleasant, walkable place than any other one thing.

The Architect and Urban Designer Jeff Speck Writes in his best selling book *Walkable City*;

*"As I would drive from street to street, I developed first impressions about which places were richer or poorer, safer or more dangerous. One day, the landscape architect Douglas Duany suggested that I take the same tour while thinking about trees. Not sure what he was getting at, I tried it... and found that all my 'rich' and 'safe' streets had good tree cover, and all my 'poor' and 'dangerous' streets did not."*

## Pedestrian Scale

### Design Principle

"Design a street around a child, and you will have created a place where everyone will long to be."

-Douglas Duany

A defining characteristic of village streets and spaces are that they are narrower and more pedestrian scaled than typical modern streets. The most loved village streets reflect the scale and movement of the person. Life, from birth to death is nourished by the human scaled realm.



*Image; Cotswolds Village Street, England*

Pedestrian streets operate at a different speed than the automobile dominated streets of today. Children are offered safety and autonomy in a pedestrian scaled civic realm. Only on pedestrian scaled streets can elderly age in place with dignity and autonomy. Our current infrastructure segregates by age, class and physical ability - because it is designed around the automobile. The pedestrian realm of the village offers the chance to bridge that segregation.

**"Pedestrian Street;** The simple social intercourse created when people rub shoulders in public is one of the most essential kinds of social glue in society. The street absolutely will not work unless its total area is small enough to be well filled by the pedestrian in it."

-Christopher Alexander

**"Children in the City;** If children are not able to explore the whole of the adult world about them, they cannot become adults. But modern cities are so dangerous that children cannot be allowed to explore them freely. As part of the network of bike paths, develop one system of paths that is extra safe-entirely separate from automobiles, with lights and bridges at the crossings, with homes and shops, so that there are always many eyes on the path."

-Christopher Alexander

## Gateways

### Design Principle

Arched openings like doorframes demarcate transition, differentiating one room of the urban realm from another.



**"Main Gateways;** Any part of a town-large or small-which is to be identified by its inhabitants as a precinct of some kind, will be reinforced, helped in its distinctness, marked, and made more vivid, if the paths which enter it are marked by gateways where they cross the boundary."

Pattern 53 Christopher Alexander



*"Out of a ~\$3.2MM total project budget (Circa 2019), this Moongate cost us about \$15k.*

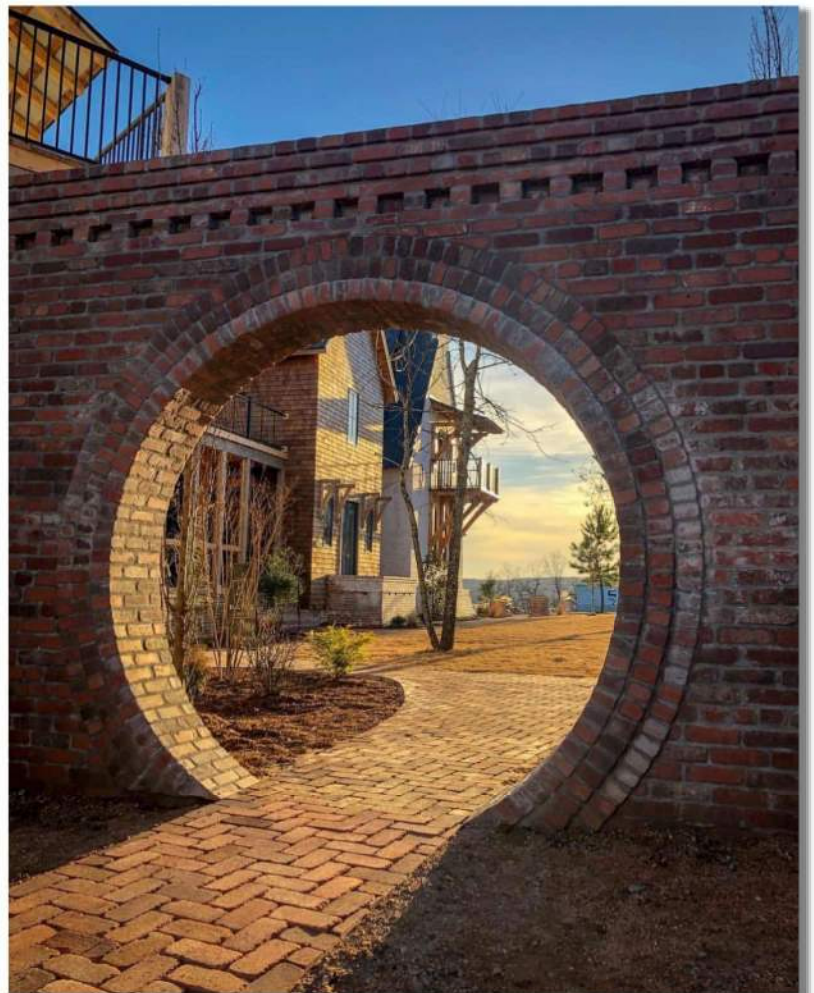
*It made the project. People take prom and wedding photos in front all the time. It anchors it in people's mind. Where do you live? "I live by the Moongate" is a common refrain.*

*This taught me something: beauty is powerful, and the moments that make a project, and capture peoples' hearts, can be quite small.*

*It's the power of human scale, beauty and placemaking. I call these types of things Anchor Architecture now. Architecture that draws people in, that they remember, that anchors a place in people's minds.*

*Often, it's a tiny fraction of a project budget, but it can change everything."*

*-Austin Tunnell*





## New Town ADU Ordinance

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*(This ordinance is based on AARP's 'Model ADU Ordinance')*

### A. Purpose and Intent

There are many benefits associated with the creation of legal accessory dwellings on lots in single-family zones and in other zoning districts. These include:

1. Increasing the supply of a more affordable type of housing not requiring government subsidies;
2. Helping older homeowners, single parents, young home buyers, and renters seeking a wider range of homes, prices, rents and locations;
3. Increasing housing diversity and supply, providing opportunities to reduce the segregation of people by race, ethnicity and income that resulted from decades of exclusionary zoning;
4. Providing homeowners with extra income to help meet rising homeownership costs;
5. Creating a convenient living arrangement that allows family members or other persons to provide care and support for someone in a semi-independent living situation without the latter leaving his or her community;
6. Providing an opportunity for increased security, home care and companionship for older and other homeowners;
7. Reducing burdens on taxpayers while enhancing the local property tax base by providing a cost-effective means of accommodating development without the cost of building, operating and maintaining new infrastructure;
8. Promoting more compact urban and suburban growth, a pattern that reduces the loss of farm and forest lands and natural areas and resources and limits increases in pollution that contributes to climate instability; and
9. Enhancing job opportunities for individuals by providing housing nearer to employment centers and public transportation.

Accessory dwelling units are, therefore, an essential component of housing choices and supply in New Town, Midwest City.

### B. Definitions

“Accessory Dwelling Unit” (ADU) means a residential living unit on the same parcel as a single-family dwelling including live/work single-family dwellings. The ADU provides complete independent living facilities for one or more persons. It may take various forms: a detached unit; a unit that is part of an accessory structure, such as a detached garage; or a unit that is part of an expanded or remodeled dwelling.

### C. Authorization of Use

ADUs shall be a use by right on all lots in New Town that allow a principal dwelling unit.

### D. Number of ADUs Allowed Per Lot

Any lot with, or zoned for, a principal dwelling unit may have one ADU.

## E. Lot Size

Accessory Dwelling Units may be created on any lot that meets the minimum lot size required for a single-family dwelling (or town houses).

## F. Placement, Height, Massing and Architectural Standards

Accessory Dwelling Units (ADUs) must adhere to the same design and construction standards as the primary residence on the lot. This ensures that ADUs maintain the architectural quality, aesthetic harmony, and privacy expectations established within New Town. Special consideration should be given to preserving the privacy of neighboring properties, including thoughtful placement of windows, doors.

All ADUs are subject to review and approval through the same Architectural Review Board (ARB) process required for primary residences.

## G. Parking Requirements

No additional off-street parking is required for construction of an ADU.

## H. Utility Connections

New or separate utility lines (water, sewer, gas and electric) lines directly between the accessory dwelling unit and the trunk lines are not required. Applicants may choose to use a shared water meter for the primary structure and the ADU or have a separate water meter installed for each.



## Off-Street Parking in the Village Center

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**Introduction** Traditional minimum parking requirements, which mandate fixed ratios of parking spaces based on land use, are increasingly being replaced by policies aligning parking supply with actual demand rather than outdated standards (see [www.uli.org](http://www.uli.org) database on Parking Reform). Just this past year in 2024, Norman Oklahoma revolutionized its approach to commercial parking requirements.

*“The city of 128,000 became the first in Oklahoma to abolish most parking requirements citywide by changing one word in the existing ordinance. “Spaces required” were changed to “spaces recommended” (Public Square. July 11th 2024)*

These changes reflect a growing recognition of the inefficiencies and environmental costs of overbuilt parking.

### Why Minimum Parking Requirements Are Detrimental

#### Harm Walkability and Urban Design

Overbuilt parking detracts from the pedestrian experience, creating auto-dominated landscapes that discourage walking, biking, and transit use.

#### Increase Development Costs

Parking construction is expensive, with surface lots costing tens of thousands per space. These costs are then passed on to tenants and consumers, making housing and goods less affordable.

#### Environmental Impacts

Minimum parking requirements often lead to vast, underutilized parking lots. Excess parking contributes to urban heat islands, stormwater runoff, and loss of natural habitat, all of which degrade environmental quality.

### Benefits of Eliminating Parking Minimums

#### Pedestrian Focused Neighborhoods

Large parking areas disrupt the continuity of pedestrian networks. They create uninviting environments that diminish the sense of place that is essential to vibrant, community-oriented public realms.

#### Encourage Market-Driven Solutions:

Developers can determine parking needs based on demand, leading to more efficient use of resources. Without rigid requirements, communities can adapt more easily to future shifts in transportation and land use patterns.

#### Lower Carbon Footprint:

Less land dedicated to parking means more green space and fewer emissions tied to car dependency.

**Conclusion** Eliminating minimum parking requirements in the Commercial centers of New Town will reduce unnecessary costs, improve urban design, and create a more sustainable neighborhood. Empowering a market driven approach ensures that parking meets actual needs without compromising livability or environmental goals.

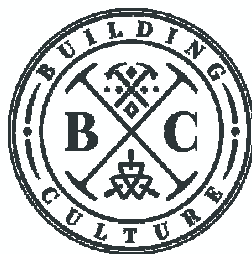


*We believe the purpose of architecture is to facilitate human flourishing.*

If we, as Oklahomans, made cultivating beauty and human flourishing our priority, what kind of city would we build? What could your home, your neighborhood and your community look like—and be like?

The last time people made human flourishing and beauty their ideal it birthed the Renaissance, resulting in cities like Florence, home to some of the most beautiful and enduring architecture ever built. As a society we spend billions to experience these places for a week—yet when we return home we simply accept modern America's throwaway building culture, mumbling the oft-repeated line: "We don't build things like we used to."

What's stopping us?





An aerial, artistic rendering of a residential development. The scene is dominated by a large, vibrant green lawn in the center, where several people are sitting on the grass. To the left and right of the lawn are clusters of houses, some with red brick exteriors and others with white siding. A wide, light-colored road or path runs horizontally across the middle of the image, just above the lawn. Below the road, a river or stream flows through a landscaped area with various green plants and trees. The overall style is that of a detailed architectural illustration or a high-quality digital rendering.

# A New Town R & R

*Masterplan Development Handbook  
Midwest City, Oklahoma*



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**R&R Homes**  
*Moore, OK*



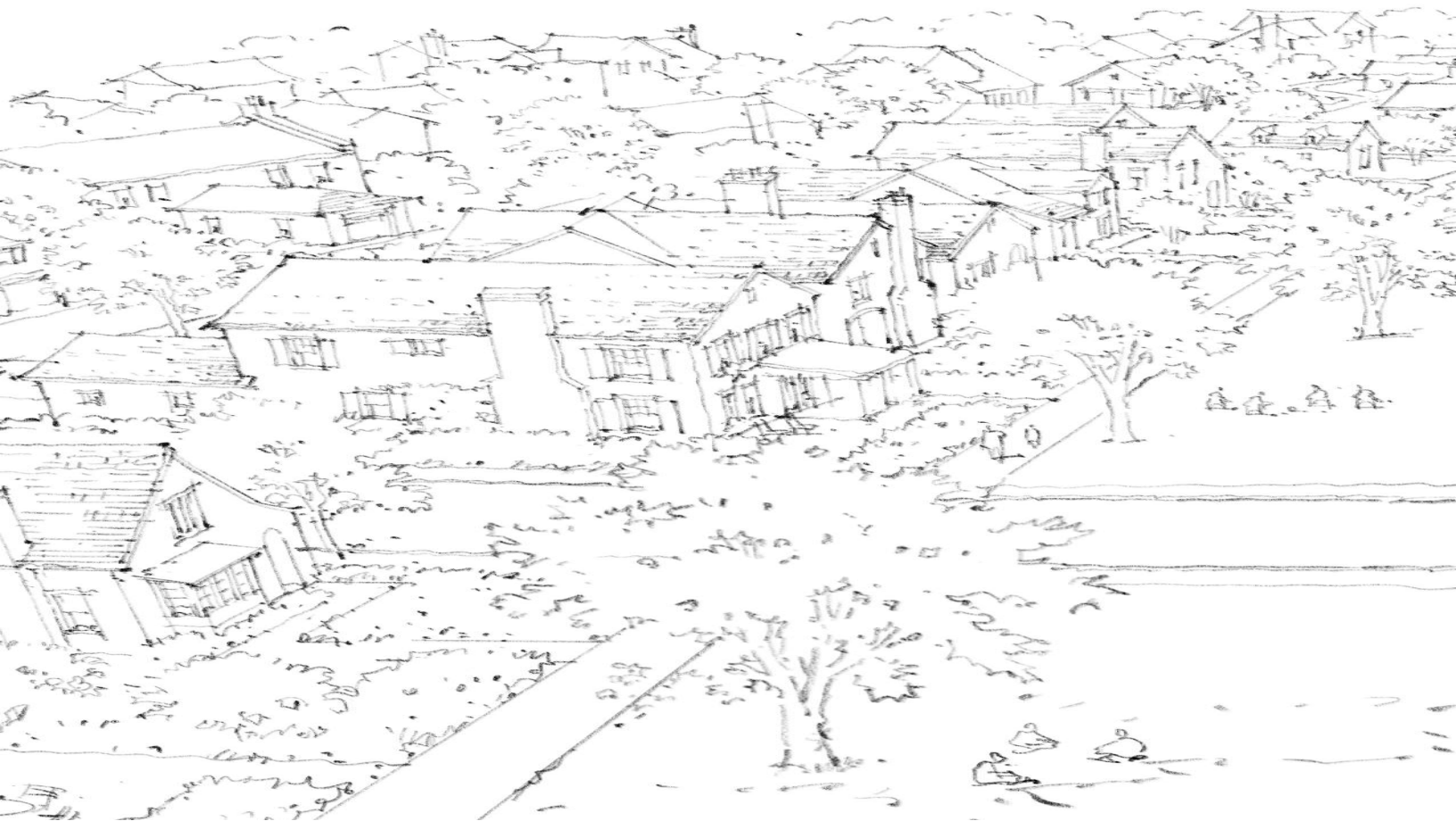
**Building Culture**  
*Oklahoma City, OK*



The New Town master plan focuses on an 200-acre site in Midwest City, Oklahoma, just minutes from both Downtown Oklahoma City and Tinker Air Force Base.

Inspired by recent New Urbanist developments such as the Wheeler District in Oklahoma City, Russell and Tabitha Clark of R&R Homes approached Building Culture with the vision of creating a human-centered, people-first neighborhood that blends residential and commercial uses. Throughout the design process, the clients and team drew from a variety of successful Traditional Neighborhood Developments (TNDs), with particular inspiration from Serenbe in Chattahoochee Hills, Georgia.

The master plan follows a traditional village pattern, a time-tested model seen in thriving communities around the world. The layout offers a variety of densities, from quiet, tree-lined village lanes to active intermediate village streets and a vibrant, walkable town center. While the design ensures practical vehicular access—including provisions for first responders—each street and public space has been shaped first and foremost for the human scale and natural pedestrian movement.



This type of mixed-use master plan with a variety of housing is still considered unconventional by many municipalities and planning professionals today. For nearly the past century, America has primarily built single use residential subdivisions incentivized by postwar FHA and VA loan products. These developments are frequently filled with a homogenous housing product type and designed for automobiles at the expense of the human scale.

Modern consumers' needs and preferences are not satisfied by isolated car-dependent subdivisions. A recent poll from the National Realtor Association found that 79% of people considered it important to be within an easy walk of other places and things (besides housing) including shops and parks. 63% of American households are one or two people, and 79% are between one and three. The benefit of varied housing types that allow people to remain in their neighborhood as their circumstances change (aging, upsizing, downsizing, etc.) has been widely documented. Consumers recognize the value of human scaled neighborhoods that are beautiful, convenient, and safe.

Many municipalities and professionals today are still partial to suburban subdivision-style development because it is standard and relatively easy to plan and execute; it is what most people are used to. This can present challenges: a human-scaled mixed-use neighborhood may seem foreign because it is 'new' and different, and most modern municipal codes, engineering standards, and zoning structures were written with the subdivision rather than the village in mind. However, dozens of flourishing TND neighborhoods built in the past three decades demonstrate that this form of development is feasible and worthwhile if we have the fortitude to realize it. Humans have been building variations of the village pattern for thousands of years, yielding most of the world's most beloved towns and cities in the process.

The masterplan and urban design principles outlined in this book are designed to serve as a generative planning guide, rather than a rote, prescriptive code. This plan focuses not only on how parcels are laid out but also on how buildings and landscaping define each outdoor space, whether that is a street or a private garden. The masterplan lays out lots, and this book contains principles which should be used to lay out buildings on each parcel. The definition of space is equal or greater in importance to the buildings themselves, and care should be taken to configure the elements of each parcel thoughtfully using these strategies.





# ARCHITECTURAL DESIGN GUIDELINES

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The ARB *'Architectural Design Guidelines'* leans heavily on two design frameworks; *'A Pattern Language'* by Chris Alexander and *'Get Your House Right'* by Marianne Cusato. These are not treatises on architectural style, but on design principles that every person can intuitively recognize. ***These principles hold true across time and culture because they are principles grounded in the human condition.***

## Conceptual Design: *Massing, Composition, Arrangement of Openings*

1. *'Get Your House Right'* - Chapter 2; Massing, architectural composition and the arrangement and size of openings shall be evaluated based on their reflection of the design principles outlined in this Chapter.
2. Keep the massing of the building simple. A rectangle is the most classic and elegant building plan shape. Roof lines should be kept simple, avoiding the 'McMansion' roof appearance.
3. *'A Pattern Language'*; The patterns listed below are key to the aesthetic of New Town, Midwest City. Special note will be taken of the design's adherence to them.
  - 112 "Entrance Transition  
Buildings, and especially houses, with a graceful transition between the street and the inside, are more tranquil than those which open directly off the street."
  - 106 Positive Outdoor Space  
"Outdoor spaces which are merely "left over" between buildings will, in general, not be used... Make all the outdoor spaces which surround and lie between your buildings positive. Give each one some degree of enclosure; surround each space with wings of buildings, trees, hedges, fences, arcades, and trellised walks, until it becomes an entity with a positive quality and does not spill out indefinitely around corners."
  - 111 Half-hidden Garden  
"If a garden is too close to the street, people won't use it because it isn't private enough. But if it is too far from the street, then it won't be used either, because it is too isolated. Place it in some kind of half-way position, side-by-side with the house, in a position which is half-hidden from the street, and half-exposed."

## General Building Material Guidelines

### Foundations;

Visible areas of concrete block or poured foundations must be parged or covered with smooth stucco.

### Roofs;

Roofs should be considered a prominent compositional element and their composition will be evaluated by the ARB. See Chapter 9 of 'Get Your House Right'.

### Garage Doors;

See *Driveway and Garage and Driveway Access* in these guidelines. Also See Garage Doors in Chapter 6 of 'Get Your House Right'

### Chimneys;

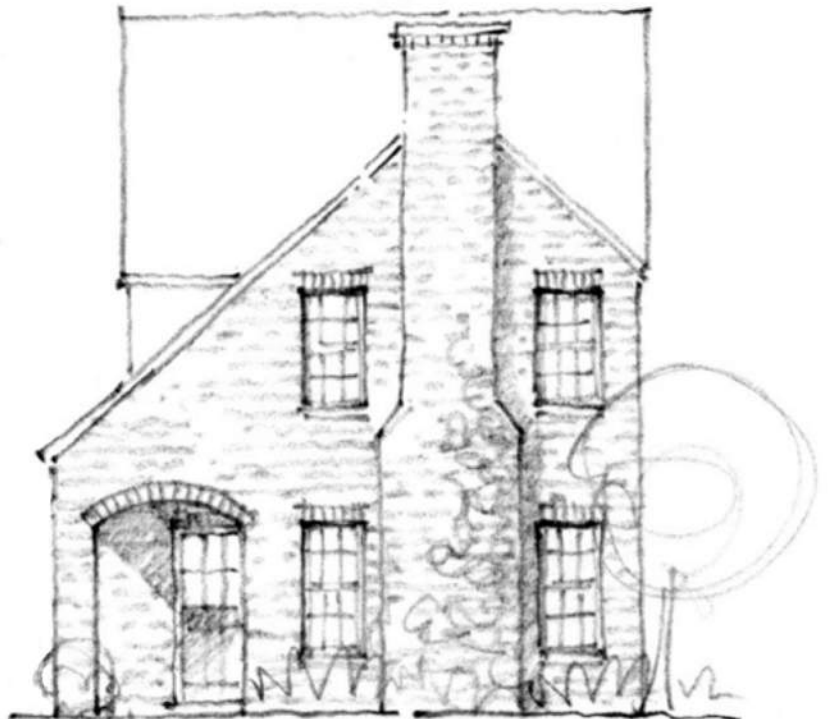
Exterior Chimneys will extend to the ground. They may not be clad in siding but must either reflect the treatment of the foundation or be some other treatment of exposed masonry.

### Wall Materials Encouraged;

- Wood or concrete board siding with corner boards or mitered corners
- Wood shingles
- Stucco
- Brick
- Stone
- Masonry general

### Wall Materials Not-allowed;

- Faux stone
- T1-11 Siding
- Vinyl Siding
- Styrofoam moldings
- EIFS or foam derived elements



## “Northside Manners”

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### ***‘Northside Manners’: A Charleston Tradition of Privacy and Respect***

The "Northside Manners" is a distinctive building tradition rooted in Charleston’s historic approach to building, emphasizing privacy, light, and harmony between neighbors. This tradition arose from the close-knit, high-density arrangement of homes in Charleston’s historic neighborhoods, where respect for neighboring properties became a cornerstone of community design.

The name stems from a key principle: ***side yards and courtyards are always oriented to the south***, ensuring they receive abundant sunlight throughout the day while creating a consistent rhythm along the streetscape. By maintaining this alignment, neighbors benefit from cohesive outdoor living spaces that feel open and inviting without sacrificing privacy.

Another hallmark of the Northside Manners is the careful placement of windows. Windows on the north side (or the side overlooking the neighbors courtyard) are either omitted or minimized so as to prevent sight-lines into neighboring courtyards or homes. This approach protects the privacy and intimacy of outdoor spaces, encouraging a sense of retreat for homeowners.

The Northside Manners demonstrate how thoughtful design can balance density with privacy. This principle continues to inspire modern urban developments, offering a timeless solution for creating beautiful, neighborly communities.

### **Design Principles:**

1. Side Yard Orientation:
  - All principal buildings/courtyards should be oriented to the South (or the same consistent direction along the block face) to ensure privacy between lots.
  - Corner Lots may deviate from this pattern so long as they maintain the privacy of the neighboring lot.
2. Window Placement:
  - Windows that would overlook neighboring courtyards or side yards must be omitted or use design strategies (e.g., stained glass, clerestory windows) to limit views into the neighbor’s private courtyard.
3. Walls & Screening:
  - Walls, fences, or evergreen landscaping should be installed along side property lines to delineate and shape space. These must be substantial enough to create both a visual and sound barrier between properties. See Generative Design Principle ‘Courtyard’
4. Architectural Approval:
  - The Architectural Review Board (ARB) will pay special attention to the ‘Northside Manners’ pattern to ensure privacy between lots.

## 105 South Facing Outdoors

"People use open space if it is sunny, and do not use it if it isn't, in all but desert climates. This is perhaps the most important single fact about a building. If the building is placed right, the building and its gardens will be happy places full of activity and laughter. If it is done wrong, then all the attention in the world, and the most beautiful details, will not prevent it from being a silent gloomy place."

-Chris Alexander

Primary buildings are placed along the edge of the property lines. See design principle 'Perimeter Lot'

The consistent placement of primary buildings on the same North-west corner creates privacy for each side-courtyard.

In this case, the main entrance and motor court is the South courtyard and the side court is the East facing courtyard.

Though these two examples show the main building to the rear of the property, it should often be in the front of the property as well.



## Windows & Dormers

*"Windows are more than a means of providing light and ventilation. They are the "eyes" of the house. They connect it to the world around it, framing a view from the inside and offering a glimpse of interior life to the passerby. Windows, more than any other single element, will determine the character of your house."*

- Marianne Cusato

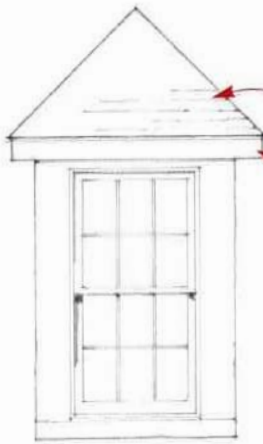
See Chapter 5 of 'Get Your House Right' for complete list of design principles and "Use" and "Avoid" examples.

Encouraged	Not Approved
<ul style="list-style-type: none"> <li>• All 'Use' examples from Chapter 5 of 'Get Your House Right'</li> <li>• Windows must be composed on side and rear elevations with equal consideration as front façade.</li> <li>• Windows with muntins must use SDL's. (Simulated Divided Lites).</li> <li>• Ganged windows with 4+ window units should separate windows with a minimum of 4" mulls to reflect traditional window construction.</li> <li>• When ganged windows have an exterior sill, that sill should be continuous across all window units.</li> </ul>	<ul style="list-style-type: none"> <li>• Snap-in muntins</li> <li>• Grilles between the glass (GBG)</li> <li>• Shutters that do not fit the height and width of the window.</li> <li>• Masonry lintels that do not overlap the opening of the window</li> <li>• Dormers and any cornice with Pork-chop Eaves</li> </ul>

*"Divide window sashes into as many lites as the budget allows.*

*We Do This Because: Muntins diffuse light entering the room, making everything in the room more beautiful in the softer light. But more muntins cost more money, so windows with more lites should be used on more refined buildings. Never use fewer than one muntin, even on the most vernacular buildings."*

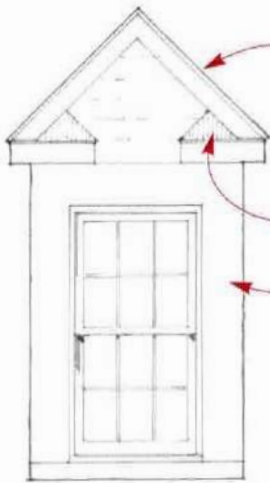
-Steve Mouzon



Avoid "Heavy Hat" roof set atop dormer

Avoid chunky corona eave

**AVOID**

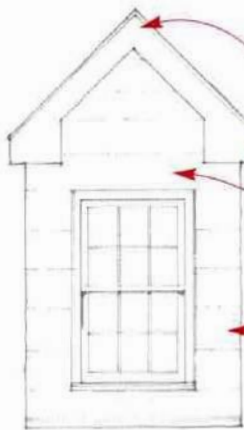


Avoid 45-degree pitch on gable

Avoid returning coronas with steep pitches on return

Avoid wide cheek walls

**AVOID**

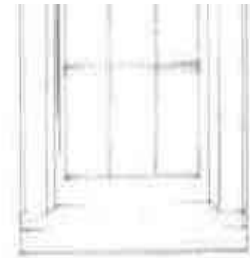


Avoid pork chop returns and 45-degree gable making effect even worse

Avoid "Dog House" dormer wrapped in siding

Avoid cheeks treated like miniature house walls rather than window casing

**AVOID**



Flush board

**USE**

## Exterior Doors

---

*"The Front Door is hierarchically the most important element of a building, the point through which we enter and leave, and therefore something we notice every day. The design of the front door and entrance should recognize that importance."*

- Marianne Cusato

See Chapter 6 and 7 of 'Get Your House Right' for complete list of design principles and good and bad examples.

Encouraged	Not Approved
<ul style="list-style-type: none"><li>All 'Use' examples from Chapter 6 &amp; 7 of 'Get Your House Right'</li></ul>	<ul style="list-style-type: none"><li>All 'Avoid' examples from Chapter 6 &amp; 7 of 'Get Your House Right'</li><li>No Vinyl</li><li>No Metal</li><li>No Faux Graining</li></ul>

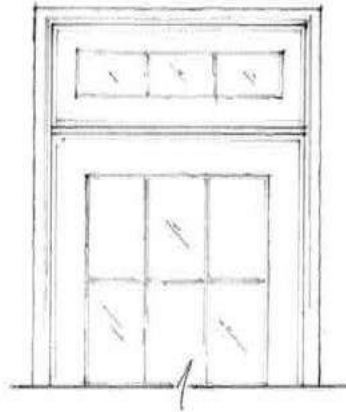
*"The Front door should be surrounded with trim more elaborate than normal door and window casing. We do this because: The front door surround is a strong visual cue to visitors who haven't been there before indicating the main entry of the building. This is more important when more than one door is visible from the street... The alternative to using a special front door surround is to paint or stain the front door a different color from the other doors and windows."*

-Steve Mouzon



**AVOID**

Etched glass in long horizontal transoms



**AVOID**

Thin horizontal lights, especially above a glazed door



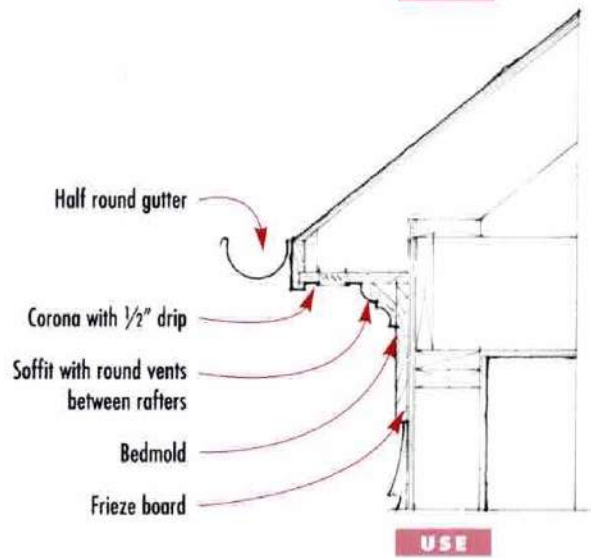
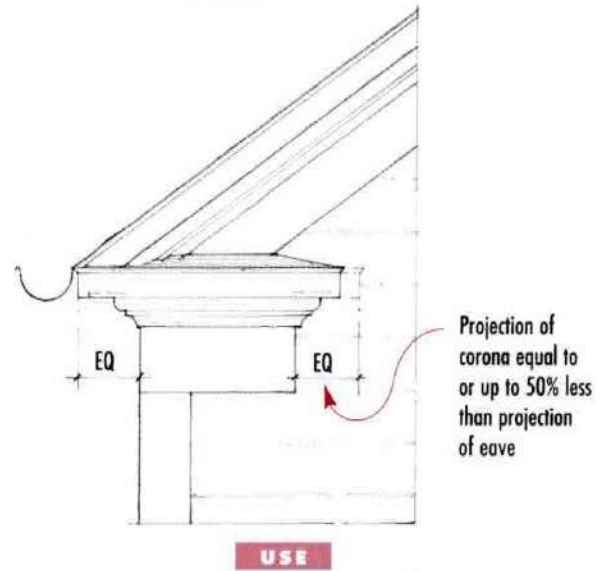
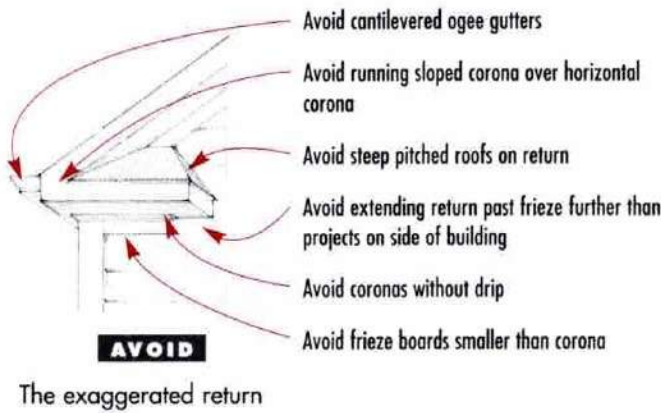
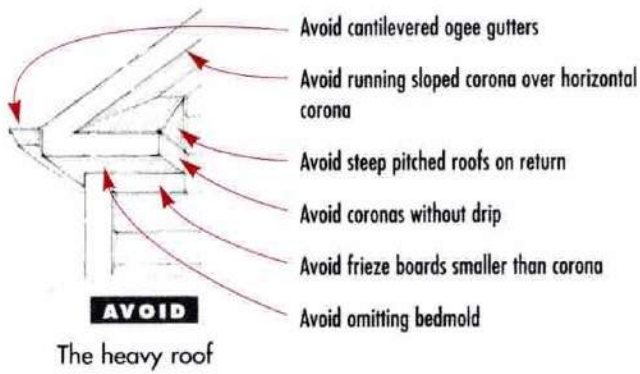
door transom with glazing (lights will be larger than door lights)

## Eave Details

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See Chapter 10 of 'Get Your House Right' for complete list of design principles and good and bad examples.

Encouraged	Not Approved
<ul style="list-style-type: none"><li>• All 'Use' examples from Chapter 10 of 'Get Your House Right'</li></ul>	<ul style="list-style-type: none"><li>• Pork-chop eaves</li><li>• All 'Avoid' examples from Chapter 10 of 'Get Your House Right'</li></ul>



## Porches and Balconies

---

*"In many traditional American houses, the porch is the single most "architectural" piece of the building.*

*- Marianne Cusato*

See Chapter 8 of 'Get Your House Right' for complete list of design principles and good and bad examples.

Encouraged	Not Approved
<ul style="list-style-type: none"><li>• All 'Use' examples from Chapter 8 of 'Get Your House Right'</li></ul>	<ul style="list-style-type: none"><li>• All 'Avoid' examples from Chapter 8 of 'Get Your House Right'</li><li>• Base of post or column extending horizontally past the foundation</li><li>• Spacing between posts or column greater than the height of post or column.</li><li>• Aluminum or plastic columns (this does not include dimensional plastic boards such as Azek PVC boards)</li><li>• Standard pressure treated shaped balusters and pickets</li></ul>

*"When a wood post is used as a column, chamfer its edges from just above the top of the handrail or floor (if there is no handrail) to just below the top of the post. We do this because: Chamfering a wood edge makes it much more durable to wear."*

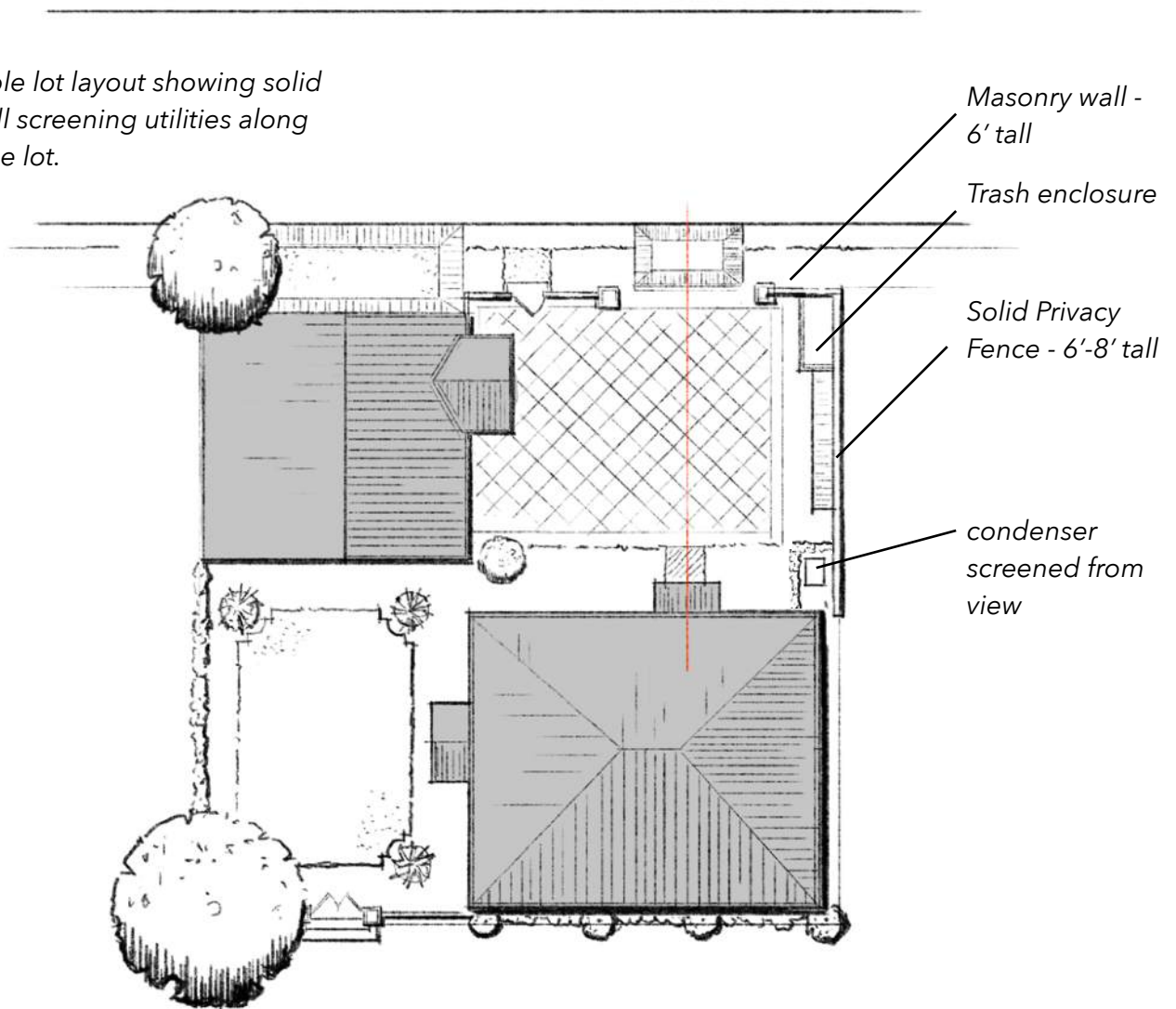
*-Steve Mouzon*

# Screening

## Screening Regulations

All heating, ventilation, and air conditioning units, utility meters, electric transformer boxes, and any outdoor refuse containers must be screened from view from streets, alleys, and neighboring lots by plants, fences or walls. This applies to both the Commercial and Residential lots.

Image; Possible lot layout showing solid fence and wall screening utilities along one side of the lot.



## Patios and Pathways

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### 247 Paving With Cracks Between the Stones

“Asphalt and concrete surfaces outdoors are easy to wash down, but they do nothing for us, nothing for the paths, and nothing for the rainwater and plants. Look at a simple path, made by laying bricks or paving stones directly in the earth, with ample cracks between the stones. It is good to walk on, good for the plants, good for the passage of time, good for the rain. You walk from stone to stone, and feel the earth directly under foot. It does not crack, because as the earth settles, the stones move with the earth and gradually take on a rich uneven character. As time goes by, the very age and history of all the moments on that path are almost recorded in its slight unevenness. Plants and mosses and small flowers grow between the cracks.”

### 121 Path Shape

“Streets should be for staying in, and not just for moving through, the way they are today... Therefore: Make a bulge in the middle of a public path, and make the ends narrower, so that the path forms an enclosure which is a place to stay, not just a place to pass through.”

-Chris Alexander

Encouraged	Not Approved
<ul style="list-style-type: none"><li>• Brick pavers</li><li>• Natural or cut stone</li><li>• Compacted gravel of fine aggregate</li><li>• Concrete with a gently exposed aggregate finish</li><li>• Colored concrete (eg Rosemary)</li><li>• Subtle stamped concrete patterns</li></ul>	<ul style="list-style-type: none"><li>• Concrete stepping stones (typical from box store)</li></ul>



Beautiful brick paving. Note the linear border, the herringbone interior panel subdivided further by other brick patterns.



Compacted fine gravel makes a wonderful courtyard floor.



overall effect is pleasing because all the materials are good.



This path in Charleston is beautiful - note that both brick and cobblestone are used; note the paving patterns.

## Driveways

---

### Front Driveway Access

In order to preserve a beautiful pedestrian environment along the streetscape, driveway curb cuts for front-loaded lots should never accommodate more than a 2 car pull-off. A single car curb cut of no wider than 12' is strongly preferred. See design details for on-street parking and drive apron connection to main street. No more than two single car garage doors should ever face the primary street.

Encouraged	Not Approved
<ul style="list-style-type: none"><li>• Brick pavers</li><li>• Cobblestone</li><li>• washed finish concrete (exposed aggregate) with decorative formwork</li><li>• Driveways must have a drive skirt of traditional paving that connects to the main street.</li></ul>	<ul style="list-style-type: none"><li>• Asphalt driveways may not connect directly to the main street.</li></ul>

### 113 Car Connection

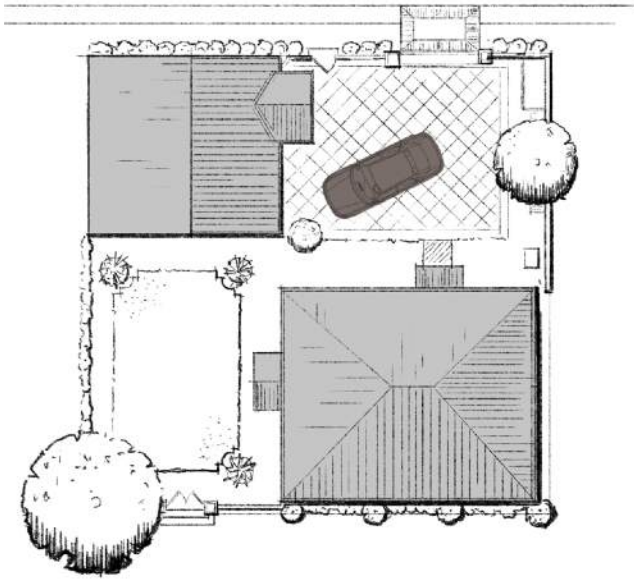
"The car entrance becomes the main entrance - regardless of the plan... Place the parking place for the car and the main entrance, in such a relation to each other, that the shortest route from the parked car into the house, both to the kitchen and to the living rooms, is always through the main entrance. Make the parking place for the car into an actual room which makes a positive and graceful place where the car stands, not just a gap in the terrain."

-Chris Alexander

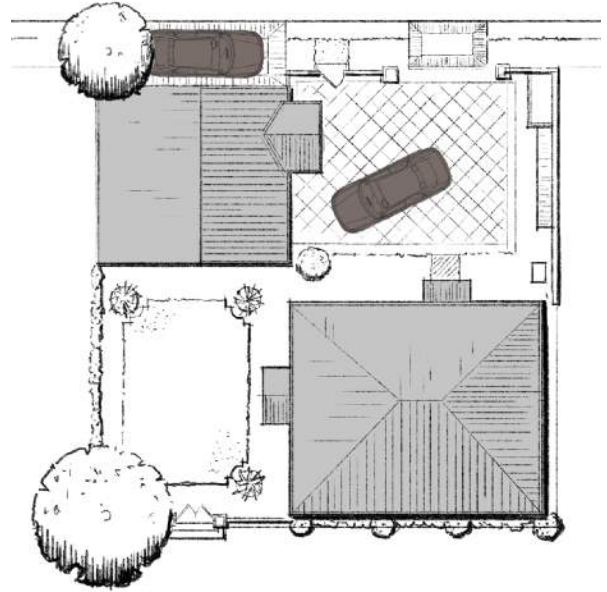


## Garage and Driveway Access

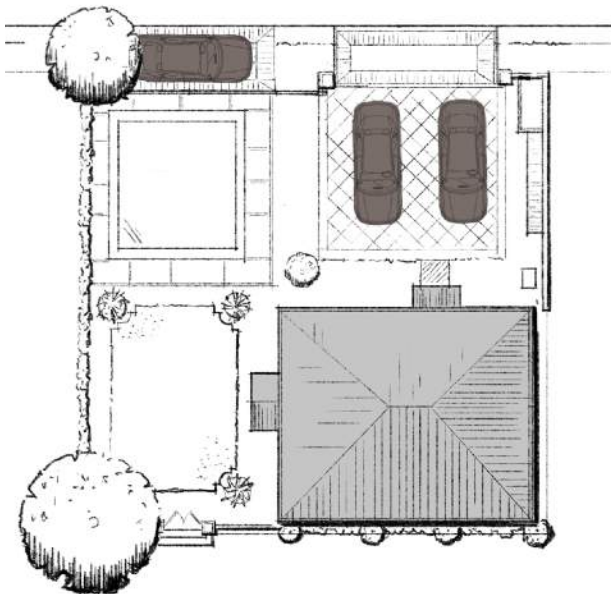
Single or two car garage, 10' wide drive access off of main street with 6' deep cobblestone drive apron



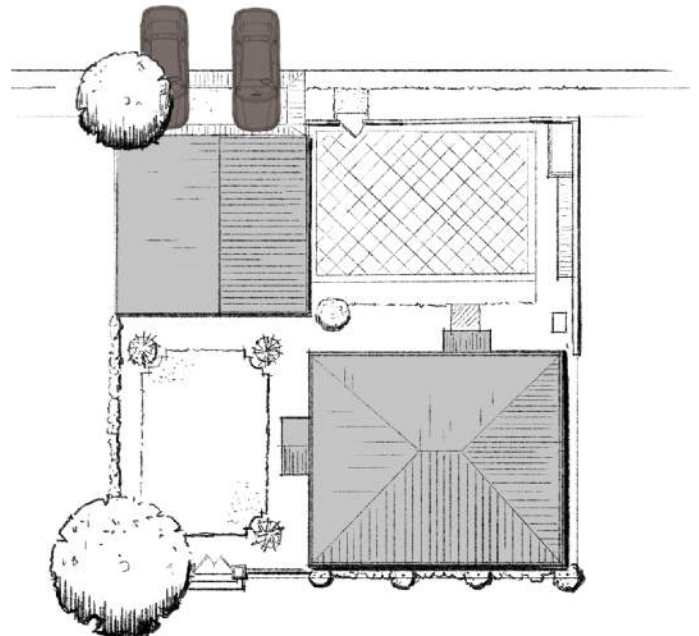
Garage setback 3' from property line to create parallel private parking spot. adjacent to street



The drive access width shall not be wider than a two car opening onto the courtyard



The garage shall not have more than 2 separated single garage doors facing the street



## Signs (including Street Signs)

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### Signage Design Parameters

- 1. Integration with Architecture**

Signage should be thoughtfully integrated into the overall design concept of the building. It must complement the architectural style and materials, ensuring a cohesive and harmonious visual presentation.
- 2. Artistic and Unique Craftsmanship**

Signs are encouraged to showcase artistic creativity and employ high-quality techniques and materials. The goal is to achieve a design that reflects individuality while enhancing the aesthetic appeal of the community.
- 3. Functionality and Placement**

Signage should be strategically placed to serve its functional purpose without obstructing views or detracting from the character of the building or streetscape. Wall-mounted brackets with hanging signs, flush or wall mounted signs, directly mounted wall signs, awning signs or shadow letters are all acceptable.
- 4. Lighting and Visibility**

If illuminated, signage lighting must be subtle and in keeping with dark-sky principles, avoiding glare or excessive brightness. Downward-facing or concealed light sources are preferred.
- 5. Street and Regulatory Signs**

Street name signs, traffic signs, and other regulatory signage must be consistent in size, materials, and typography to create a unified streetscape throughout the development. Signposts should be finished to coordinate with architectural and landscape elements, and signage should avoid excessive scale or clutter. Reflectivity and visibility must meet local and state requirements for safety and legibility, while still respecting the character of New Town, Midwest City.
- 6. Temporary signage must adhere to similar standards of quality and placement and be removed promptly after its intended purpose is fulfilled.**
- 7. Review and Approval Process**

All signage designs must be reviewed and approved by the Architectural Review Board (ARB) on a case-by-case basis. This ensures compatibility with the overall vision of the development.

# Lighting

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## **New Town Lighting Standards**

New Town Midwest City prioritizes the reduction of light pollution through thoughtful, responsible outdoor lighting practices. To preserve the natural night environment, all fixtures must be fully shielded to prevent upward spill, feature low color temperature to reduce harshness, and direct illumination downward.

Landscape lighting must remain confined to the property, with no direct illumination extending onto neighboring lots, streets, or common areas. All exterior lighting, including landscape fixtures, must be submitted to the Architectural Review Board (ARB) for review and approval. Lighting deemed excessive or inappropriate may be disapproved.

## **Street Lighting:**

Street lighting will be installed throughout the community to provide appropriate illumination for safety and visibility. Fixtures must be in keeping with the Neighborhood's aesthetic and dark-sky objectives, using fully shielded, downward-directed lights that minimize glare and sky glow. Street lighting shall be consistent in style and finish with the architectural character of the community. All fixtures must meet or exceed applicable IES and International Dark-Sky Association (IDA) standards for residential neighborhoods.

## **Village Center Guidelines:**

- **Pedestrian Paths & Public Spaces:** Use low-level bollards, recessed step lights, or shielded fixtures aimed downward. Avoid over-lighting and harsh contrasts.
- **Entrances & Storefronts:** Use shielded wall-mounted or recessed canopy lights. Lighting should enhance architecture without glare or spill beyond the building perimeter.
- **Parking Areas:** Use poles of appropriate height with fully shielded, downcast fixtures.
- **Signage:** Illuminate signs with downward-facing or backlit elements. Avoid flashy, overly bright, or constantly lit signage.
- **Landscape & Accent Lighting:** Keep decorative lighting subtle, shielded, and confined to highlight specific features without contributing to light pollution. Minimize uplighting.

As with residential lots, all exterior lighting fixtures in the commercial centers must be submitted for review and approval by the Architectural Review Board (ARB). The ARB will evaluate whether proposed lighting plans align with the dark sky objectives and ensure that they provide a cohesive aesthetic appropriate for the commercial center. Lighting that creates excessive brightness, glare, or light trespass will not be approved.



*“To preserve the natural night environment, all light fixtures must be fully shielded to prevent upward light spill, feature a low color temperature to minimize harshness, and direct illumination downward.”*



## Walls and Fences

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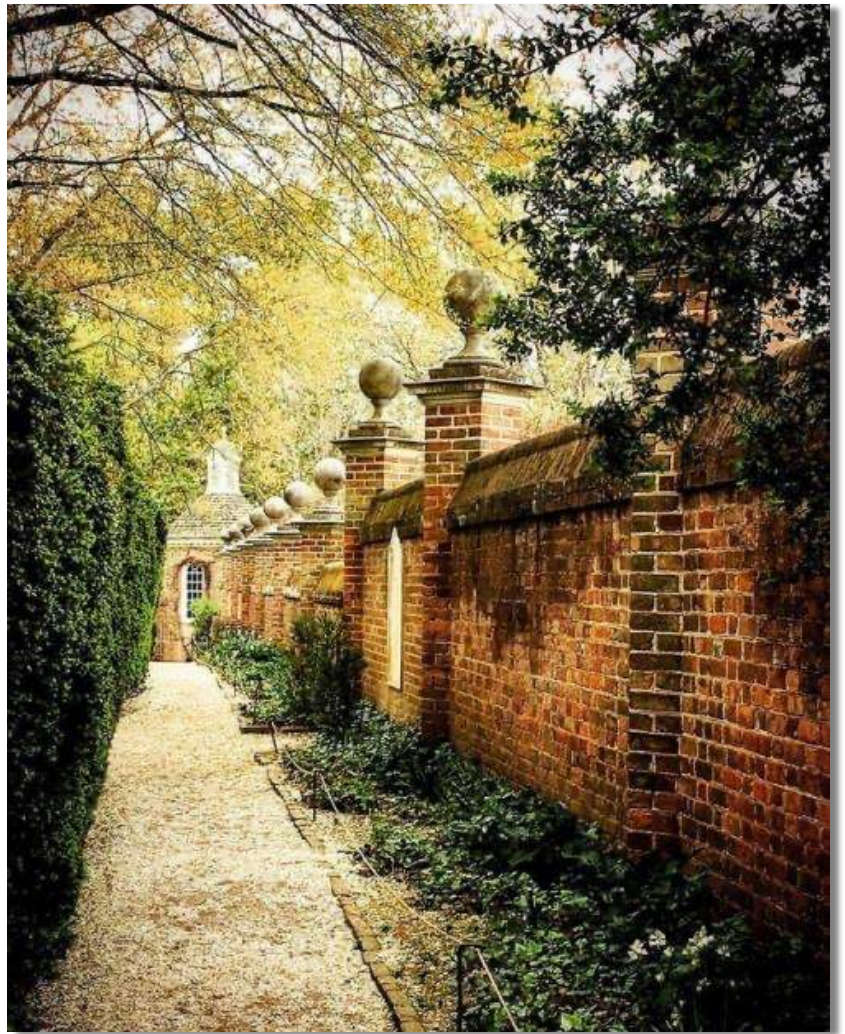
### 173 Garden Walls

"People need contact with trees and plants and water. In some way, which is hard to express, people are able to be more whole in the presence of nature, are able to go deeper into themselves, and are somehow able to draw sustaining energy from the life of plants and trees and water..."

Form some kind of enclosure to protect the interior of a quiet garden from the sights and sounds of passing traffic. If it is a large garden or a park, the enclosure can be soft, can include bushes, trees, slopes, and so on. The smaller the garden, however, the harder and more definite the enclosure must become. In a very small garden, form the enclosure with buildings or walls; even hedges and fences will not be enough to keep out sound."

-Chris Alexander

Encouraged	Not Approved
<p>Courtyard walls generally need to be 6' tall or taller. Appropriate materials include;</p> <ul style="list-style-type: none"><li>• Brick</li><li>• Masonry</li><li>• Stucco</li><li>• Wood or Azek type fence</li><li>• Fence between masonry piers</li><li>• Wrought Iron</li><li>• Hedge</li></ul>	<ul style="list-style-type: none"><li>• Vinyl</li><li>• Chain link</li></ul>



## Shade Trees

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### 171 Tree Places

"When trees are planted or pruned without regard for the special places they can create, they are as good as dead for the people who need them. Trees have a very deep and crucial meaning to human beings. The significance of old trees is archetypal; in our dreams very often they stand for the wholeness of personality.

***If you are planting trees, plant them according to their nature, to form enclosures, avenues, squares, groves, and single spreading trees toward the middle of open spaces.*** And shape the nearby buildings in response to trees, so that the trees themselves, and the trees and buildings together, form places which people can use."

-Chris Alexander

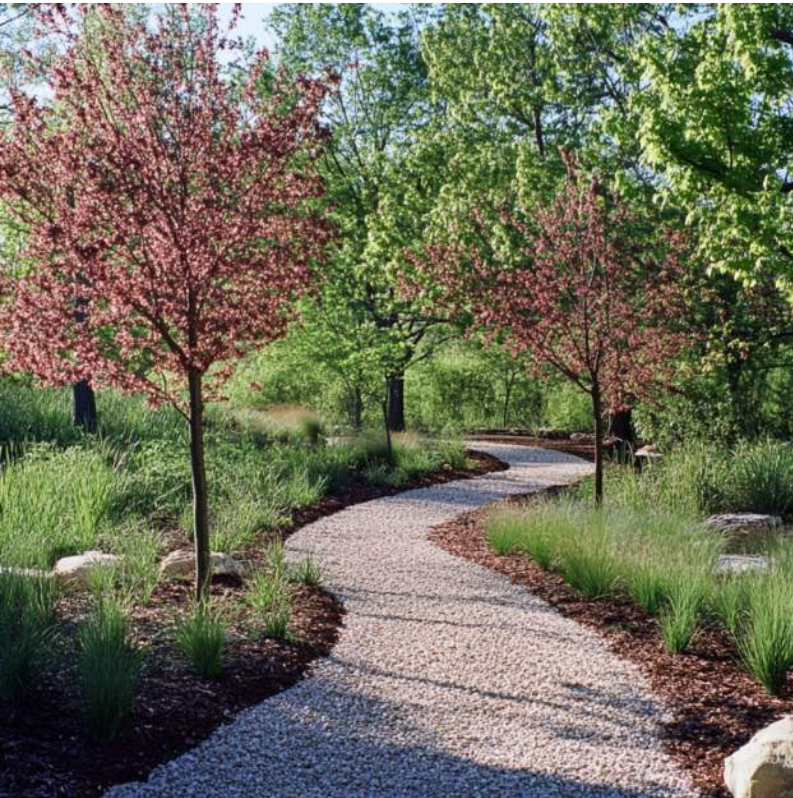
Below are the recommended species for Shade Trees. All plant lists for areas adjacent to or in a public space must get final approval by the ARB

- Shumard Oak (*Quercus shumardii*): A large, fast-growing oak reaching up to 60 feet, known for its vibrant red fall foliage.
- Bur Oak (*Quercus macrocarpa*): A sturdy tree that can grow up to 70 feet, featuring large acorns and a broad canopy providing ample shade.
- Chinkapin Oak (*Quercus muehlenbergii*): This oak reaches 40 to 60 feet and thrives in well-drained soils, offering excellent shade with its broad, rounded crown.
- American Elm (*Ulmus americana*): A classic shade tree that can grow up to 80 feet, valued for its graceful, arching branches.
- Eastern Redbud (*Cercis canadensis*): Oklahoma's state tree, reaching 20 to 30 feet, known for its stunning pink flowers in early spring and heart-shaped leaves.
- Bald Cypress (*Taxodium distichum*): A deciduous conifer that can grow up to 70 feet, adaptable to various soil conditions, including wet areas, with feathery foliage that provides light, airy shade.
- Blackgum (*Nyssa sylvatica*): Also known as Black Tupelo, this tree reaches 30 to 50 feet and is noted for its brilliant red fall color and adaptability to different soil types.
- Sugar Maple (*Acer saccharum*): Specifically, the 'Caddo' variety is native to southwestern Oklahoma, growing 40 to 60 feet tall, offering excellent shade and vibrant red to orange fall colors.
- American Sycamore (*Platanus occidentalis*): A fast-growing tree that can exceed 80 feet, known for its mottled bark and broad canopy, providing extensive shade.
- Kentucky Coffeetree (*Gymnocladus dioica*): Reaching 60 to 75 feet, this tree has an open canopy that provides moderate shade and is tolerant of urban conditions.

*"If you are planting trees, plant them according to their nature, to form enclosures, avenues, squares, groves, and single spreading trees toward the middle of open spaces."*

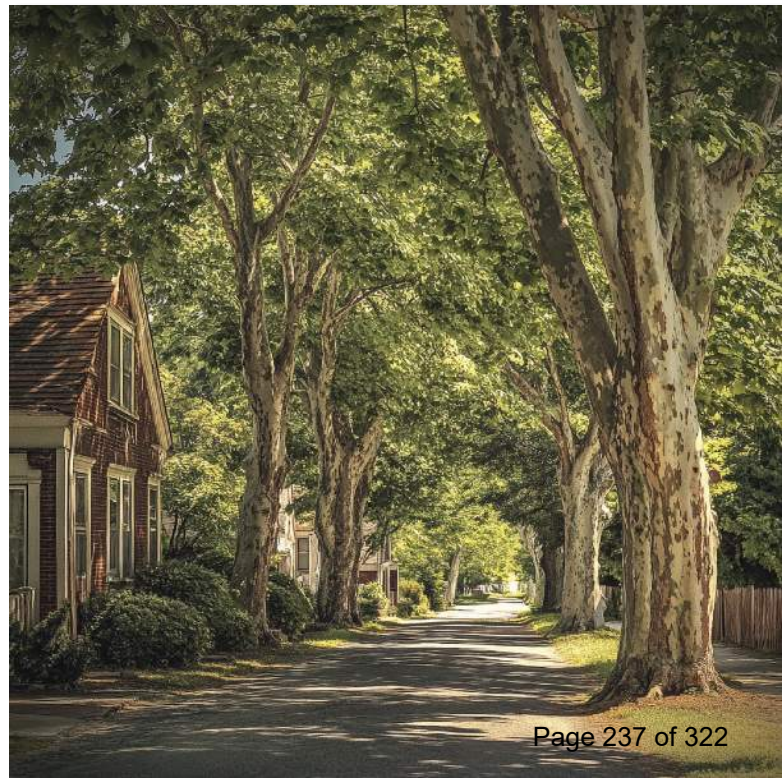


Bur Oak - 'a single spreading tree toward the middle of spaces'



Eastern Redbud - shaping a pedestrian path

American Sycamore - a tree traditionally planted to shape the space of the street



## Understory Trees

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Create a layered landscape that softens the transition between the home and the larger shade trees.

Below are the recommended species for Understory Trees. All plant lists for areas adjacent to or in a public space must get final approval by the ARB

- Eastern Redbud (*Cercis canadensis*)  
Beautiful pink or purple spring blossoms.
- Dogwood (*Cornus florida*)  
Showy white or pink flowers in spring.
- American Smoketree (*Cotinus obovatus*)  
Unique "smoky" plumes of flowers in summer.
- Golden Rain Tree (*Koelreuteria paniculata*)  
Bright yellow flowers in midsummer.
- Hawthorn (*Crataegus viridis* 'Winter King')  
Red berries in fall/winter.
- Mexican Plum (*Prunus mexicana*)  
Fragrant white spring blossoms.
- Oklahoma Redbud (*Cercis canadensis* var. *texensis* 'Oklahoma')  
Deep magenta flowers in spring.
- Crape Myrtle (*Lagerstroemia indica*)  
Long-lasting summer blooms in various colors.
- Chickasaw Plum (*Prunus angustifolia*)  
Edible summer plums attract wildlife.
- Vitex (*Vitex agnus-castus*)  
Lavender or purple flower spikes in summer.

Hawthorn in garden courtyard



American Smoketree in Village Green

Crape Myrtles forming the edge of the path



## Shrubs

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Below are the recommended species for shrubs. All plant lists for areas adjacent to or in a public space must get final approval by the ARB

- American Beautyberry (*Callicarpa americana*)  
Vibrant purple berries in fall.
- Dwarf Yaupon Holly (*Ilex vomitoria* 'Nana')  
Evergreen foliage with a neat, compact shape.
- Oakleaf Hydrangea (*Hydrangea quercifolia*)  
Large, cone-shaped white flowers that age to pink.
- Texas Sage (*Leucophyllum frutescens*)  
Silvery foliage with purple blooms after rain.
- Red Yucca (*Hesperaloe parviflora*)  
Drought-tolerant with striking red flower spikes.
- Mock Orange (*Philadelphus coronarius*)  
Fragrant white flowers in spring.
- Spirea (*Spiraea japonica*)  
Bright pink or white flowers in late spring.
- Ninebark (*Physocarpus opulifolius*)  
Unique peeling bark and white flower clusters.
- Virginia Sweetspire (*Itea virginica*)  
Fragrant white flowers and brilliant red fall foliage.
- Russian Sage (*Perovskia atriplicifolia*)  
Aromatic silvery foliage with lavender-blue blooms.



American Beautyberry



Red Yucca



Oakleaf Hydrangea



Mock Orange



Dwarf Yaupon Holly



Texas Sage  
Page 241 of 322

## Flowers, Native Grasses and Ground Covers,

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Below are the recommended species. All plant lists for areas adjacent to or in a public space must get final approval by the ARB

### Native Grasses

- Little Bluestem (*Schizachyrium scoparium*)  
Striking blue-green foliage that turns copper in fall.
- Switchgrass (*Panicum virgatum*)  
Tall, airy plumes that provide year-round interest.
- Sideoats Grama (*Bouteloua curtipendula*)  
Delicate seed spikes that dangle attractively.

### Ground Covers

- Prairie Phlox (*Phlox pilosa*)  
Low-growing with clusters of pink or lavender flowers.
- Creeping Sedum (*Sedum ternatum*)  
Hardy succulent with star-shaped blooms.
- Winecup (*Callirhoe involucrata*)  
Trailing stems with vibrant magenta flowers.

### Perennials

- Purple Coneflower (*Echinacea purpurea*)  
Iconic daisy-like flowers with a prominent cone.
- Black-Eyed Susan (*Rudbeckia hirta*)  
Bright yellow petals surrounding a dark brown center.
- Butterfly Milkweed (*Asclepias tuberosa*)  
Orange blooms that attract pollinators and butterflies.
- Blazing Star (*Liatris spicata*)  
Spiky purple flower clusters loved by pollinators.



Blazing Star



Black-Eyed Susan



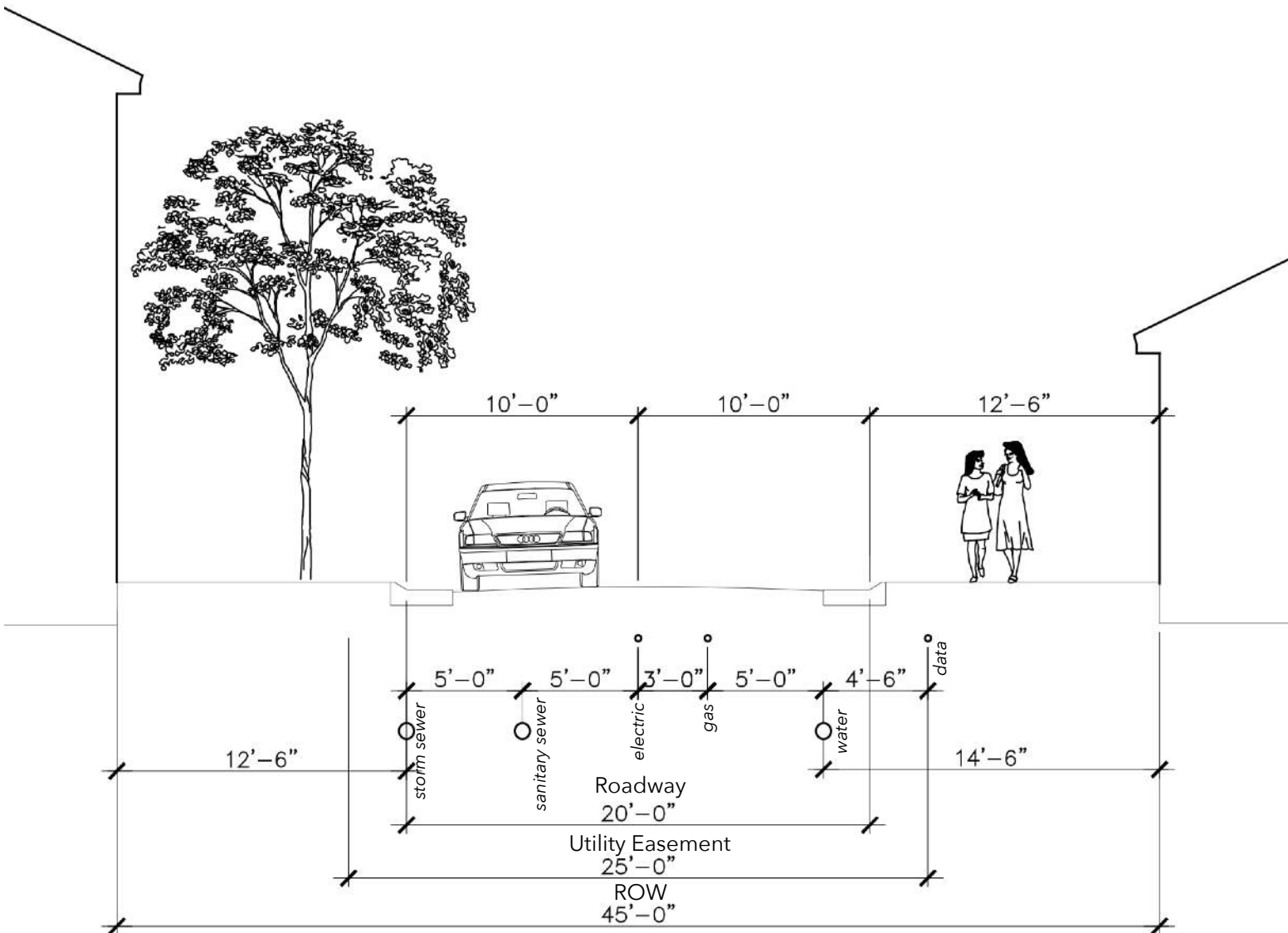
Little Bluestem



Winecup

## Street Trees

Street trees that provide a significant canopy do more to make a street pleasant, walkable place than any other one thing. They provide shade for pedestrians, reduce heat island effects, improve air quality, and contribute to the overall identity and appeal of the neighborhood. Street trees may be planted within the 45' public right-of-way including designated utility easements, provided that species selection and planting locations are coordinated to avoid conflicts with utilities and infrastructure.

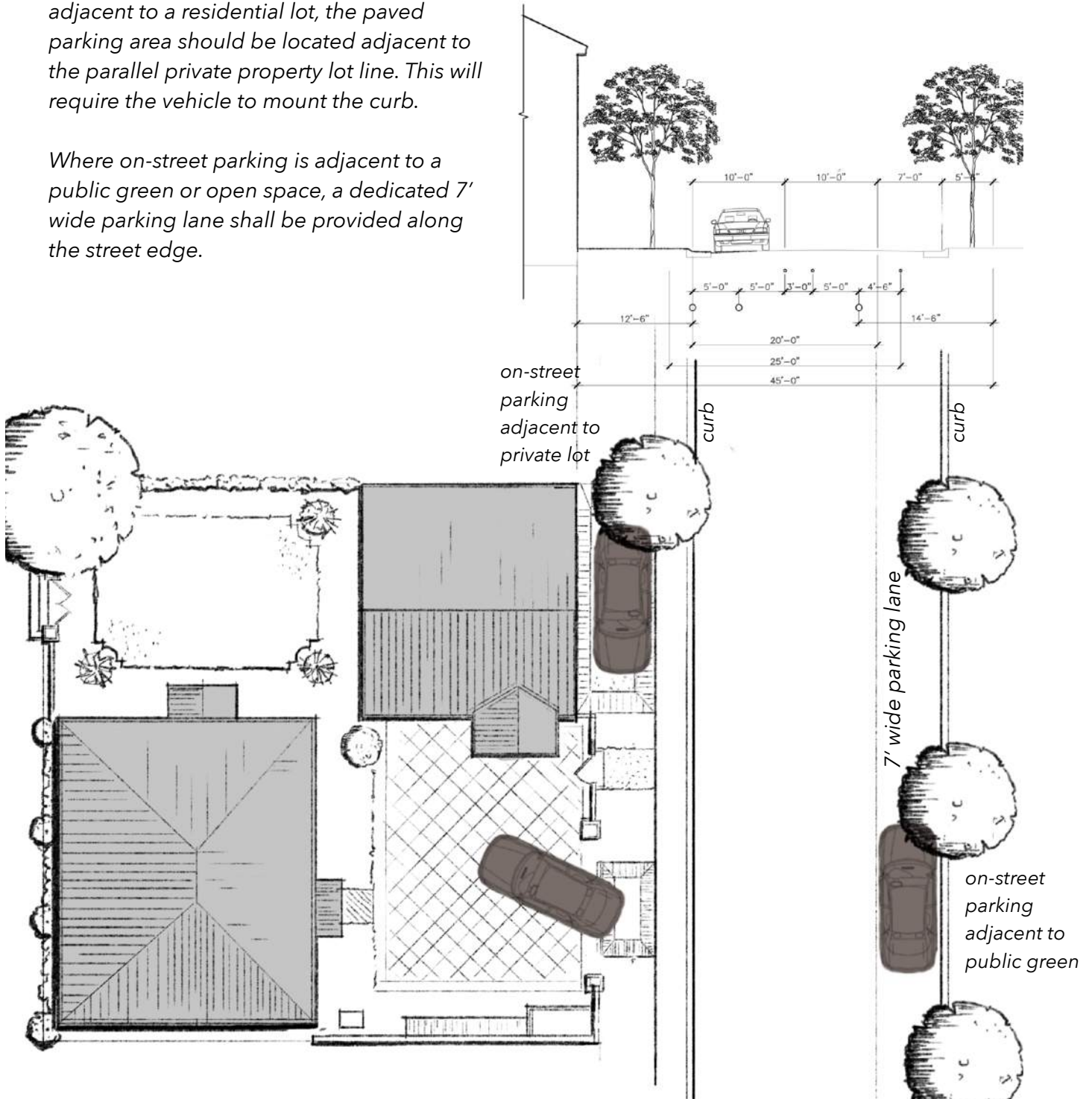


## On-Street Parking

On-street parking is permitted within the 45' ROW provided it does not encroach upon the 20' roadway.

Where this On-street Parking spot is adjacent to a residential lot, the paved parking area should be located adjacent to the parallel private property lot line. This will require the vehicle to mount the curb.

Where on-street parking is adjacent to a public green or open space, a dedicated 7' wide parking lane shall be provided along the street edge.



# New Town

## Midwest City

### Architectural Review Board (ARB) Submittal Process

#### **Introduction and Purpose**

The Architectural Review Board (ARB) serves to uphold the design and aesthetic standards of New Town. It is composed of members appointed by the Developer. By reviewing and approving proposed building designs, modifications, and landscaping, the ARB ensures the preservation of the community's character, architectural integrity, and long-term value.

These guidelines outline the submittal process, required documentation, and ARB expectations to facilitate a smooth review process for all applicants.

The New Town Development team has created the Masterplan Development Handbook as the essential resources for all new construction and alterations within the community. This document, along with appropriate historic precedents, serve as tools for property owners to plan sites, design buildings, and incorporate detailing and landscaping that align with the community's character. Each home's design should reflect the character of the street, park, or square it faces, creating unified and inviting civic spaces.

No new structure or significant alteration may proceed without prior approval from the ARB. This includes review and approval of site plans, building designs, construction materials, and color palettes.

#### **Powers and Responsibilities**

The ARB oversees all design approvals for new construction and modifications to existing properties. This includes establishing clear guidelines and procedures for submissions. The ARB is tasked with reviewing applications for consistency with the community's design standards, managing both architectural and construction reviews, and ensuring that all improvements align with the New Town aesthetic vision. It retains authority over alterations such as exterior painting, fencing, additions, landscaping, and material changes.

#### **Scope of Review**

The ARB evaluates plans, materials, and designs to ensure compatibility with the New Town Masterplan Development Handbook. These standards may be amended by the ARB as deemed necessary to best uphold the architectural and aesthetic standards of the community. While these resources guide decisions, they do not guarantee approval, as the ARB considers broader factors such as harmony with the neighborhood and overall visual coherence. Aesthetic judgment plays a key role, and property owners accept that decisions may involve subjective criteria based on the ARB's vision for New Town.

**Design Review Process**

The ARB encourages homeowners, builders, and architects to engage actively in the design review process. Applicants are advised to consult the ARB for clarification of guidelines or feedback during the review process. Only complete submissions will be reviewed, and all required fees must be paid before any review begins.

**Submission Requirements**

- Electronic submissions: Conceptual, Design Development, Construction, Exterior Materials & Colors, and Landscape Review

**Review Fee Structure;**

\$xxx

**Construction Deposit**

A \$xxx Construction Deposit may be required from builders to ensure compliance with ARB-approved plans. This deposit must be maintained throughout construction.

**Variations**

The ARB may grant written variations at its discretion for unique circumstances such as topography or architectural merit. Variations are case-specific and do not establish precedent.

**Appeals and Additional Meetings**

If a design is denied or approved with conditions the applicant finds unacceptable, they may request a meeting with the ARB to discuss the decision.

## Design Review Process

### 1. Orientation Meeting (optional)

Applicants may schedule a preliminary consultation with the ARB to discuss design concepts and receive informal feedback before submitting a full application. This step is non-binding and intended to streamline the formal review process.

### 2. Conceptual Design Review

The Conceptual Design review evaluates initial design concepts, including plans, elevations, site layout, and precedent images. The ARB may request additional details to complete the review. Feedback is provided to guide the applicant on the general design direction, potential challenges, and opportunities for refinement.

### 3. Design Development (DD) Review

The DD Review involves a detailed examination of plans. Based on this review, the design will either be:

- **Approved without exception:** Proceed to Construction Documents Review.
- **Approved with conditions:** Proceed with recommended changes.
- **Rejected:** Applicant will create a new submission.

### 4. Construction Documents (CD) Review

This stage ensures ARB recommendations from earlier reviews are incorporated and provides further design details and specifications. The ARB will either:

- **Approve without exception:** Proceed to construction after the Construction Start/Stakeout Review.
- **Approve with conditions:** Submit modifications for final approval before construction begins.
- **Reject:** CD plans must be revised and resubmitted.

The ARB reserves the right to request additional details at any stage of the process.

### Permit Application

Following ARB approval of Construction Documents, the applicant must submit applications for all necessary permits from the City. No construction may begin until permits have been issued. All permit submissions must reflect the most recently approved ARB plans. Any changes required by the City during the permitting process must be submitted to the ARB for review and approval prior to construction.

### 5. Stakeout Review/Construction Start

This review ensures the house and ancillary structures are properly positioned on the lot per approved designs. Builders must stake out corners marking the house perimeters and tag trees to remain. The builder must receive approval from the ARB before starting construction.

## **6. Exterior Materials & Colors Review**

Submit the Materials & Colors Form with selections. Include as many selections as possible initially, with additional submittals as needed during construction. Supplemental submissions must reference previously approved materials. Samples, shop drawings, and catalog cuts may be required.

## **7. Landscape Design Review**

Landscape plans must comply with New Town's standards to facilitate HOA maintenance. A conceptual plan is required during Conceptual Design Review, while final plans must be submitted within 90 days of the Stakeout Review. All landscaping adjacent to the street or other public space or serving as a wall (for example a hedge adjacent to the side-yard line) and so visible to neighboring lots must be approved by the ARB.

## **8. Construction Reviews**

ARB representatives may access job sites to verify compliance with approved designs and issue notifications of discrepancies to the applicant and builder as necessary.

## **9. Construction Completion Review**

Before obtaining a Certificate of Occupancy, applicants must request a final inspection from the ARB at least 7 days in advance. The ARB will confirm the house matches approved designs and issue a written approval.

## **10. Changes to Approved Designs**

Applicants must submit proposed design changes to the ARB for review and approval. Unauthorized changes may require removal or revision at the applicant's expense, with applicable fees.

## **11. Changes to Existing Construction**

Applicants must notify the ARB about proposed alterations to determine the necessary review process. Major changes (e.g., porches, additions) follow the same process as new construction. Minor changes (e.g., fences, landscaping, pools) require scaled drawings and ARB approval before work begins. Municipal approvals remain the applicant's responsibility.

## Submittal Requirements

### Conceptual Design Review

#### Proposed Site/First Floor Plan

- Minimum Scale: 1/8"=1'-0" or 1"=10'-0"
- Include the following:
  - All buildings, structures, fences, setbacks, sidewalks, easements, utilities, and contiguous street rights-of-way.
  - Location of all existing trees over 4 inches in caliper that are to be retained.
  - Building footprint with overall dimensions and distances between the proposed work and property lines.
  - Roof overhangs represented as dashed lines.
  - Driveways, walkways, landscape areas, hardscape areas, and pools.

#### Conceptual Landscape/Hardscape Plan

- Incorporate this plan into the Site/First Floor Plan for clarity.
- Minimum Scale: 1/8"=1'-0" or 1"=10'
- Show the general locations of all proposed exterior living spaces, walls, and fences.
- Indicate the proposed locations of HVAC equipment and trash enclosures.
- Whenever possible, each lot should be graded to ensure that water flows away from the property towards the street, alley, or shared common areas. It is prohibited to direct water flow onto an adjacent lot in a concentrated manner.

#### Proposed Elevation(s)

- A minimum of one front and one side elevation is required. Additional elevations are optional but recommended.
- Minimum Scale: 1/8"=1'-0"
- Clearly label materials and indicate floor-to-ceiling heights.

## Design Development (DD) Review Requirements

### 1. Site Plan

- Minimum Scale: 1/8"=1'-0" or 1"=10'
- Also required for the Conceptual Design Review submittal.

### 2. Proposed Conceptual Landscape/Hardscape Design

- Minimum Scale: 1/8"=1'-0"
- Also required for the Conceptual Design Review submittal.

### 3. Proposed Floor Plans

- Minimum Scale: 1/8"=1'-0"
- Floor plans should include:
  - All rooms labeled.
  - Overhangs of floors and roofs shown as dashed lines.
  - Finished floor elevations.

### 4. Proposed Elevations

- Minimum Scale: 1/8"=1'-0"
- Elevations should include:
  - Openings, including doors and windows.
  - Principal materials identified
  - Finished floor elevations with respect to grade elevations.

### 5. Building Section

- A section should be taken through major living area.
- Minimum Scale: 1/8"=1'-0"
- Sections should include:
  - Finished floor elevations in relation to exterior finished grade.
  - Ceiling heights.
  - Eave and roof ridge heights dimensioned in relation to the finished exterior grade.

### 6. Typical Wall Section

- Provide a typical wall section for the exterior wall system.

### 7. Roof Plan

- Include a roof plan as part of the submission.

## Construction Documents (CD) Review Requirements

1. Site Plan
  - Minimum Scale: 1/8"=1'-0" or 1"=10'
2. Proposed Conceptual Landscape/Hardscape Design
  - Minimum Scale: 1/8"=1'-0"
3. Foundation Plan
  - Minimum Scale: 1/4" = 1'-0"
4. Floor Plans
  - Minimum Scale: 1/4" = 1'-0"
5. Roof Plan
  - Minimum Scale: 1/8" = 1'-0"
6. Elevations
  - Minimum Scale: 1/4" = 1'-0"
  - Include the following:
    - Openings, including doors and windows.
    - Principal materials identified.
    - Exterior material designations for the roof, siding, and foundation.
7. Building Section(s)
  - Minimum Scale: 1/2" = 1'-0"
  - Sections should include:
    - Finished floor elevations in relation to exterior finished grade.
    - Eave and roof ridge heights dimensioned in relation to the finished exterior grade.
    - Roof pitches.
8. Typical Exterior Wall Section(s)
  - Minimum Scale: 1/2" = 1'-0"
9. Typical Porch Section(s)
  - Minimum Scale: 1/2" = 1'-0"
10. Exterior Details
  - Eave, cornice, and rake details
  - Chimney details.
  - Porch column, beam, and railing details.
  - Window and door head, jamb, and sill details.
  - Exterior siding details, including corner boards, foundation, jointing, and brick bonds.
  - Material designations
11. Fences and Garden Walls
  - Dimensioned and noted designs

## Exterior Materials & Colors Review Requirements

1. Photographs or Cut Sheets
  - Include images for all proposed exterior elements, such as:
    - Windows
    - Doors
    - Lighting fixtures
    - Shutters
    - Materials Listing and Color Samples
2. Provide a complete list of materials and color samples for all exterior elements including;
  - Siding
  - Brick
  - Windows
  - Doors
  - Roofing

## **Landscape Design Review Requirements**

(To be submitted to the ARB after the Stakeout Review completion)

Landscape Plan Minimum Scale: 1/8"=1'-0" or 1"=10'. The following elements must be included;

1. Existing and Proposed Grades
  - Indicate grades at the corners of the lot and all structures.
  - Show elevations for the main house first floor, accessory buildings, porches, patios, and the garage slab lip at the driveway.
2. Lot Drainage
  - Provide details on the collection of all roof area downspout drains.
  - Show the direction of overland flow and the locations of any drainage structures (yard inlets and pop-up drains).
3. Landscape Materials
  - Indicate the location and species of all landscape materials.
4. Site Features
  - Include driveways, walks, landscape areas, hardscape areas, and pools.
  - Specify dimensions and materials for each feature.
5. Fences, Walls, and Enclosures
  - Show fences, yard walls, and trash/HVAC enclosures.
  - Provide dimensions, heights, and materials
  - Material and Planting Specifications
  - Include specifications for all materials and plants used in the design.
6. Landscape Structures
  - Provide detailed drawings for all landscape structures not included in the Construction Documents for the house.
7. Exterior Lighting
  - Indicate the location of all exterior lights.
  - Include specifications for each lighting fixture.
8. External Equipment Locations
  - Show the location of all external equipment.
9. Waste and Recycling Bin Placement
  - Identify the location of waste and recycling bins.
10. HVAC Equipment Placement
  - Show the location of all HVAC equipment.





*We believe the purpose of architecture is to facilitate human flourishing.*

If we, as Oklahomans, made cultivating beauty and human flourishing our priority, what kind of city would we build? What could your home, your neighborhood and your community look like—and be like?

The last time people made human flourishing and beauty their ideal it birthed the Renaissance, resulting in cities like Florence, home to some of the most beautiful and enduring architecture ever built. As a society we spend billions to experience these places for a week—yet when we return home we simply accept modern America's throwaway building culture, mumbling the oft-repeated line: "We don't build things like we used to."

What's stopping us?



**To:** Honorable Mayor and Council  
**From:** Matt Summers, Community Development Director  
**Date:** June 23, 2026

**Subject:** (PC-2248) Public hearing, discussion, consideration, and possible action on an ordinance to rezone the subject property from Two-Family Attached Residential (“R-2F”) to Planned Unit Development (“PUD”) for the property described as Lots 4, 5, 6, 7, 8, 9, and 10 of Block 1 and Lots 2 and 3 of Block 3 of the Urban Edge Addition, located in Midwest City, Oklahoma. (Ward 3)

**Executive Summary:** The Applicant is requesting to redistrict the subject property to Planned Unit Development (“PUD”) with an underlying zoning designation of Single-Family Detached Residential (“R-6”).

The applicant proposes to develop the remaining parcels in the Urban Edge Addition with detached single-family dwellings on narrow residential lots utilizing a Rear-Access-Design configuration in which vehicular access and garage placement are oriented to the rear of each lot rather than the public street frontage.

The applicants’ proposed setback standards, as outlined in the Master Design Statement for the subject property, include:



- Fifteen (15) foot setback along Amani Drive, except for sixty (60) feet for proposed Lot 6A, thirty-six (36) feet for proposed Lot 6B, twenty (20) feet for proposed Lot 10B, and twenty-one feet for proposed Lot 3B.
- Sixteen (16) foot setback at the rear lot line.
- Three (3) foot setback along the side lot lines.

The applicant’s request does not increase the overall density of the previously approved development. Instead, it replaces the previously approved duplex concept with detached single-family residences on individual narrow lots. As described in the Master Design Statement, all homes will be two stories in height and will be required to incorporate a functional front porch.

Any development standards not explicitly stated in the PUD Master Design Statement shall default to the requirements of the Single-Family Detached Residential (R-6) zoning district, including but not limited to landscaping, screening, signage, lighting, parking, and sidewalk regulations.

All required state and local notification requirements have been met. As of the date of this report, staff have not received any public inquiries regarding the application. At the public hearing before the Planning Commission, there were no comments from the public in support or opposition to this application.

The Planning Commission unanimously approval of the application.

Action is at the discretion of the Council.

**Dates of Hearing:**

Planning Commission- June 2, 2026

City Council- June 23, 2026

**Date of Pre-Application Meeting:** March 31, 2026

**Date of the Site Plan Review Meeting:** April 22, 2026

**Council Ward:** Ward 3, Raymond Melton

**Owner:** Amani Developers, LLC

**Applicant:** Emmanuel Acquaaah (Amani Developers, LLC)

**Proposed Use:** Planned Unit Development (“PUD”)

**Size:** Roughly 4.14 acres more or less

**Development Proposed by Comprehensive Plan:**

Area of Request:	Neighborhood Medium to High Density
North:	Neighborhood Low Density and Public/Semi-Public
South:	Mixed Use
East:	Neighborhood Medium to High Density
West:	Neighborhood Low Density

**Zoning Districts:**

Area of Request:	Two-Family Attached Residential (“R-2F”)
North:	Single-Family Detached Residential (“R-6”)
South:	Medium Density Residential (“R-MD”)
East:	Medium Density Residential (“R-MD”)
West:	Single-Family Detached Residential (“R-6”)

**Land Use:**

Area of Request:	Two (2) Duplex Units (Block 2 of Urban Edge Addition)
North:	Church and Single Single-Family Residences
South:	Duplex Units
East:	Duplex Units
West:	Single-Family Residences

**Comprehensive Plan Citation:**

The future land use designation for the subject property is Neighborhood Medium to High Density.

This designation is intended to accommodate residential neighborhoods that include a mix of single-family detached and single-family attached housing types, such as duplexes and townhomes. Areas assigned to this designation may support housing forms that exceed typical individual lot coverage limitations, with residential densities generally greater than six dwelling units per acre.

**Municipal Code Citation:**

2.25. – PUD, Planned Unit Development

2.25.1. *General Provisions.* The planned unit development, herein referred to as PUD, is a special zoning district category that provides an alternate approach to conventional land use control to produce unique, creative, progressive, or quality land developments.

The PUD may be used for particular tracts or parcels of land that are under common ownership and are to be developed as one unit according to a master development plan.

The PUD is subject to special review procedures within 7.3 PUD Application and Review (Page 174) and once approved by the City Council it becomes a special zoning classification for the property it represents.

2.25.2. *Intent and Purpose.* The intent and purpose of the planned unit development provisions are as follows:

- (A) *Innovative development.* Encourage innovative development while maintaining appropriate limitations on the character and intensity of use, assuring compatibility with adjoining and proximate properties, and following the guidelines of the comprehensive plan.
- (B) *Flexibility within developments.* Permit flexibility within the development to maximize the unique physical features of the particular site.
- (C) *Efficient use of land.* Encourage efficient use of land, facilitate economic arrangement of buildings and circulation systems, and encourage diversified living environments and land uses.
- (D) *Function, design, and diversity.* Achieve a continuity of function and design within the development and encourage diversified living environments and land uses.
- (E) *Modifications to development requirements.* Provide a vehicle for negotiation modifications in standard development requirements in order to both encourage innovative development and protect the health, safety and welfare of the community.

## 2.8. – R-6, Single-Family Detached Residential District

2.9.1. *General Description.* This is a residential district to provide for medium density housing ranging from ten (10) to twenty (20) dwelling units per gross acre. The principal use of land is for townhouses and low-rise multifamily dwellings.

### **History:**

1. The property was zoned R-1-D in the 1985 Zoning Atlas.
2. The property was zoned R-6 with the adoption of the 2010 Zoning Map.
3. City Council approved a rezone to R-2F in 2023. (PC-2140)
4. The Preliminary Plat for the subject property was approved in 2023. (PC-2147)
5. City Council approved the final plat for Urban Edge in 2024. (PC-2190).

### **Next Steps:**

If the City Council approves the rezoning request, the applicant or any subsequent property owner may proceed with submitting a preliminary plat application, followed by a final plat. A pre-application meeting shall be conducted before these applications are filed.

**Staff Comments-**

*There are numerous construction requirement references made in the Engineering, Fire Marshal, and Public Works portions of this report. The intent of the Municipal Code is to directly involve the applicant in continued community development activities such as extending public sewer and water and making street improvements, for example. This is a rezoning application, and the construction references are provided to make the applicant and subsequent developers of this property aware of their applicability as they relate to the future development or redevelopment of this property.*

**Engineering Staff Comments:**

Note: No engineering improvements are required with this application.

**Water Supply and Distribution**

There are public water mains bordering and bisecting the proposed parcel. Six (6) inch lines run along Amani Drive and Patriot Drive. New service connections along Amani Drive will be required prior to the issuing of new building permits. Any new building permit will require tying to the public water system as outlined in Municipal Code 43-32.

**Sanitary Sewerage Collection and Disposal**

There are eight (8) inch public sewer mains located along the newly constructed Amani Drive and Patriot Drive. New service connections along Amani Drive will be required prior to the issuing of new building permits. Any new building permit will require tying into the public sewer system as outlined in Municipal Code 43-109.

**Streets and Sidewalks**

Access to the parcel is from Amani Drive and Patriot Drive. All are classified as local roads in the 2008 Comprehensive Plan. Public road and sidewalk improvements are not required as part of this application. Any new building permit will require sidewalk across the full frontage of the proposed parcel.

**Drainage and Flood Control, Wetlands, and Sediment Control**

The area of request is shown to be in an Area of Minimal Flood Hazard on Flood Insurance Rate Map (FIRM) number 40109C0310H, dated December 18th, 2009. Public drainage and detention improvements are not required as part of this application, the improvements were constructed as part of the plat application.

**Easements and Right-of-Way**

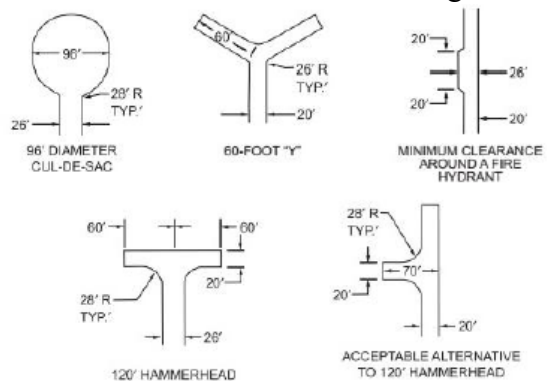
No further easements or right of way are not required with this application.

**Fire Marshal's Comments:**

All new commercial construction, gated communities, and business in the city shall provide an approved emergency rapid access device or key box. Access and operational standards for controlled access gates and gated subdivisions shall meet the requirements set forth in Midwest City Ordinance Sec. 15-26 (IFC 506)

Multiple family residential projects having more than 100 dwelling units shall be equipped throughout with a minimum of two separate and approved fire apparatus access roads. IFC D106.

Fire apparatus access roads shall be installed and arranged



in

accordance with Sections 503.2.1 through 503.2.8. (2018 IFC Sec 503.2).

- Unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches.
- Turning radius is required to meet the parameters of the 95' Sidestacker platform apparatus (Turning radius document attached to the PC Case Files).
- Dead-Ends exceeding 150 feet in length shall be provided with an approved area for turning around fire apparatus.

Midwest City Ordinance Section 15-22 – Location of Hydrants

- (b) Fire hydrants shall be located and so spaced that no hose lay from a fire apparatus exceeds five hundred (500) feet within areas containing one- and two-family detached dwellings.
- (c) In all areas except those containing only one- and two-family detached dwellings, fire hydrants shall be located in such a manner that no hose line will exceed four hundred (400) feet in length to reach any accessible portion of the exterior of any building and is dependent on the ability to place an apparatus in such a manner necessary to utilize said hydrant. Distance shall be measured by the lay of the hose, not by line of sight.
- (d) Within all other areas, including but not limited to, mercantile, business, educational, assembly, detention and correctional, health care, storage, industrial and multifamily dwellings, the maximum spacing shall be no more than four hundred (400) feet. Buildings of noncombustible or limited combustibility construction, protected by a complete automatic sprinkler system and classified by NFPA 13 as "Light or Ordinary Hazard" may be protected by fire hydrants located with a maximum spacing of five hundred (500) feet. Distance shall be measured by the lay of the hose, not by line of sight.
- (e) In areas of commercial development, fire hydrants shall be located in a sufficient number and manner to supply the required flow, per the adopted edition of International Fire Code requirements, for a structure and its exposures or supply adequate water for the fire sprinkler system.

Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1).

Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4. Fire apparatus access roads shall not exceed 10 percent in grade.

**Planning Division:**

Staff met with the applicant on March 31, 2026, for a pre-application meeting, and on April 22, 2026, for a site plan review meeting.

The subject property currently contains two (2) public roadways, Amani Drive and Patriot Drive, and two (2) duplex structures that are not included in the PUD request and will remain zoned R-2F (PC-2140).

If the rezoning is approved, any standards not specifically addressed within the PUD Master Design Statement shall be governed by the subdivision and zoning regulations set forth in the Midwest City Municipal Code.

Setbacks:

- The applicant's Master Design Statement proposes the following setbacks standards:
  - Lot size – Minimum lot size shall be 3,300 square feet.
  - Front setback - 15 feet along Amani Drive, except for Lot 6A (60 feet), Lot 6B (36 feet), Lot 10B (20 feet), and Lot 3B (21 feet). These variations are intended to encourage front porch living and provide additional rear yard depth.
  - Rear setback - 16 feet at the rear property line to support efficient placement of the primary structure while accommodating garage access and the private alley system.
  - Side setback - 3 feet to maximize usable interior living space while maintaining the required fire separation and compliance with applicable building codes.

Façade:

- The applicant's Master Design Statement does not request any deviations from the façade requirements of the Midwest City Municipal Code – 85% masonry shall be required.
  - Separation - The proposed development is designed to maintain a minimum six (6) foot separation between residential structures.
  - Anti-Monotony Clause - The applicant is committed to two-story homes and proposes to comply with the anti-monotony provisions contained within the zoning regulations.

Landscaping:

- The applicant's Master Design Statement is requesting relief from Section 42-7 of the Midwest City Municipal Code, which requires a minimum spacing of twenty (20) feet between small trees. The applicant is requesting that only one (1) small tree be planted for every thirty (30) feet of street frontage, and no more than one (1) tree may be located within a front yard.

Screening:

- The applicant's Master Design Statement does not request any relief from the requirements of the Midwest City Municipal Code.

Access:

- The applicant's Master Design Statement proposes a Rear-Access-Design located at the rear of each lot.
  - Mutual Access Easement - This easement provides for a sixteen (16) foot wide paved alley that facilitates rear access to driveways and garages.
  - Access – Access from Amani Drive and Patriot Drive will be limited to guest parking and garbage collection purposes.
  - Garbage Collection – Trash collection will occur along the main street, Amani Drive.

Signage:

- The applicant's Master Design Statement does not request any deviations from the signage requirements of the Midwest City Municipal Code.

Lighting:

- The applicant's Master Design Statement affirms compliance with the Midwest City Municipal Code.

Parking:

- The applicant's Master Design Statement does not request relief from what is required per the Midwest City Municipal Code – A minimum of two (2) spaces per dwelling unit shall be required.

Sidewalk:

- Existing sidewalks are present along the common areas, and the applicant’s Master Design Statement does not request modifications to the sidewalk requirements of the Midwest City Municipal Code. – A continuous 5-foot sidewalk shall be installed along the entire frontage of each lot.

Other:

- The applicant’s Master Design Statement includes the following development commitments:
  - Back-of-House Functions - Garage access and electrical meters will be located behind the homes to maintain attractive public street frontage.
  - Urban Edge Commons - A landscaped centralized mailbox hub with a pergola/pavilion.
  - Front Porch Design - Each home will feature a functional front porch to promote neighborhood interaction and enhance safety through increased visibility.

If the rezoning is approved, the applicant may proceed with the preliminary plat followed by the final plat.

The Planning Commission recommended approval of the application subject to all staff comments.

Action is at the discretion of the Council.

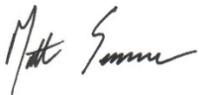
**Action Required:**

Approve or reject the ordinance to redistrict from Two-Family Attached Residential (“R-2F”) to Planned Unit Development (“PUD”) for the property noted herein, subject to staff comments as found in the June 23, 2026, City Council agenda packet and made part of the PC-2248 file.

**Suggested Motion:**

*“To approve the ordinance redistricting the subject property to Planned Unit Development (“PUD”) subject to staff comments found in the June 23, 2026, City Council agenda packet and made part of the PC-2248 file.”*

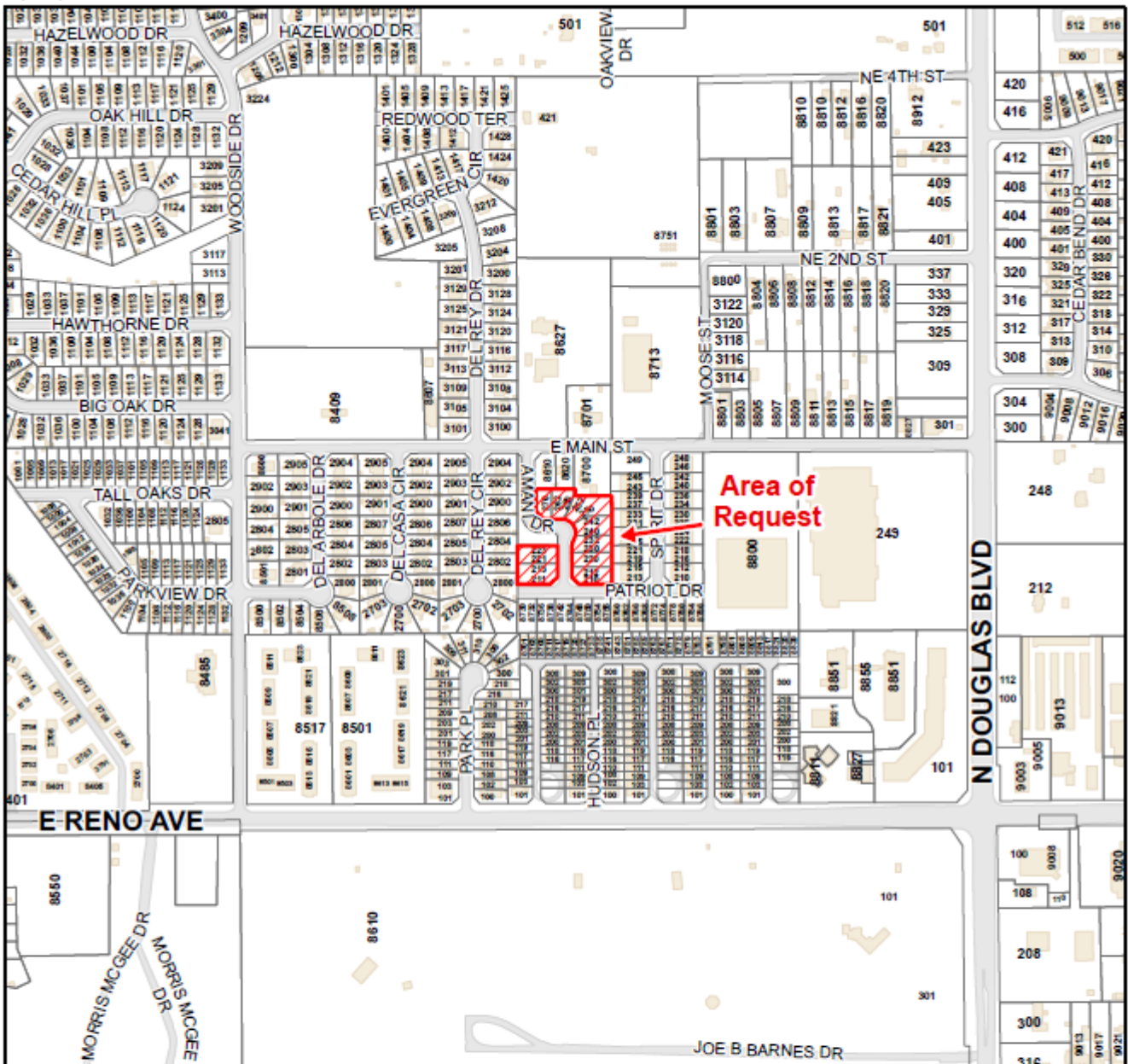
Please feel free to contact the Community Development Department at (405) 739-1228 with any questions.



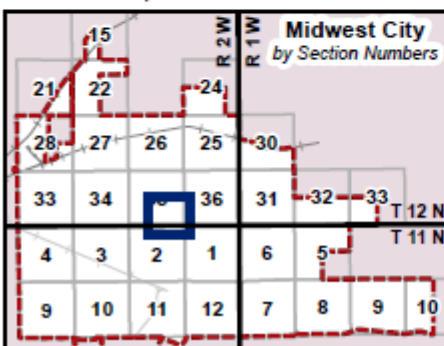
Matt Summers, AICP  
Community Development Director



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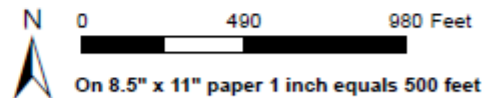
Locator Map



General Map Legend

- Area of Request
- Parcels with Addresses
- Buildings
- Edge of Pavement
- MWC City Limits
- Railroads**
- Active
- Inactive / Closed

**GENERAL MAP FOR PC-2248 (SE/4, Sec. 35, T12N, R2W)**

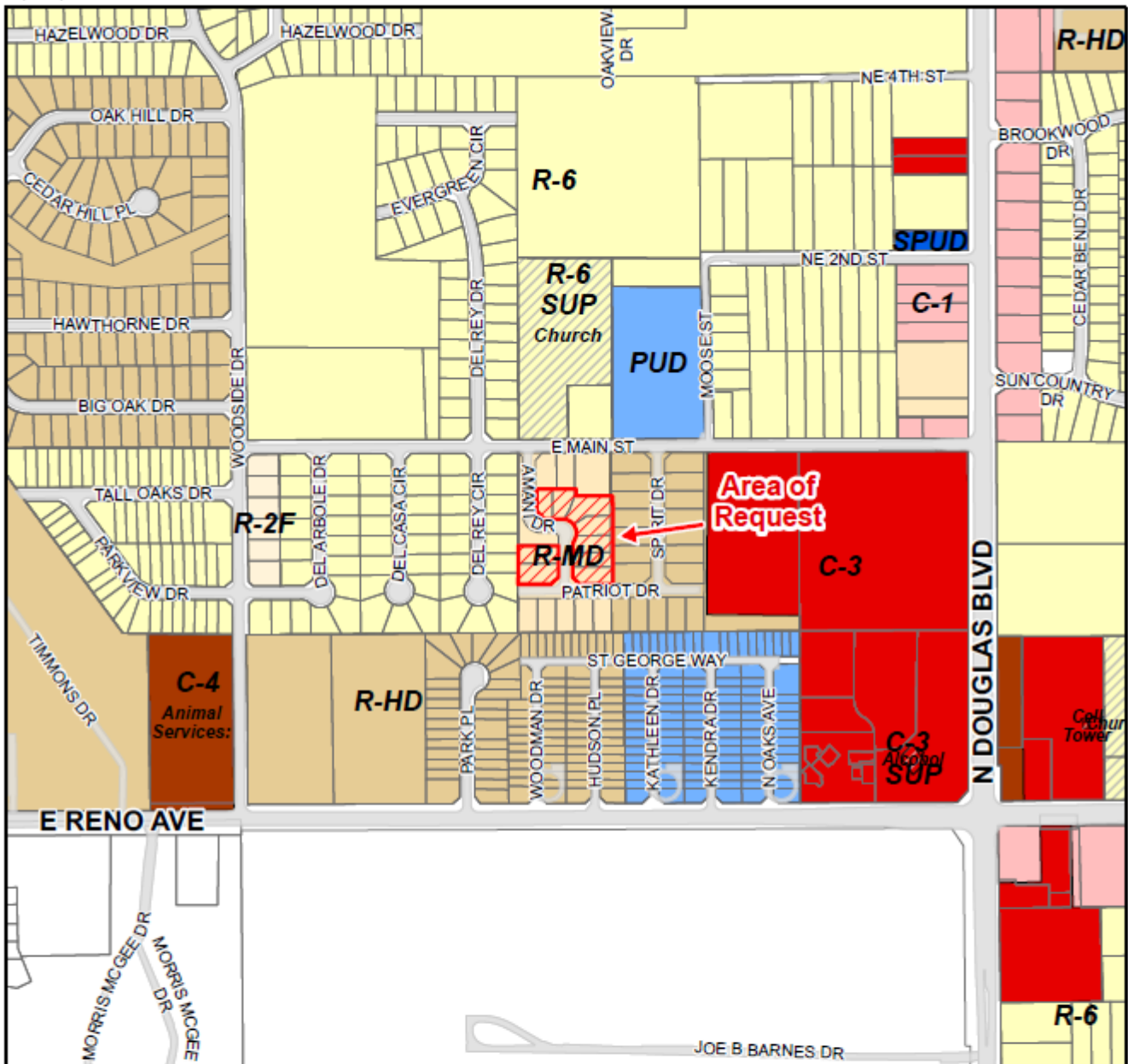


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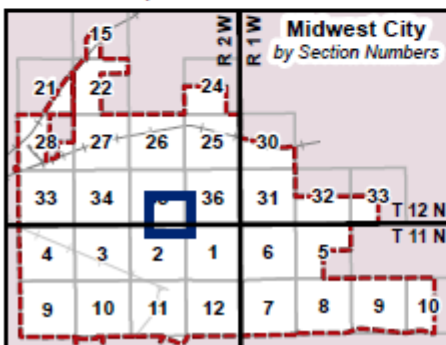
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Locator Map

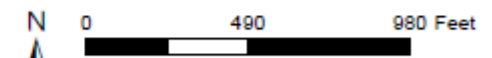


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Current Zoning Legend

A-1	O-1	R-HD
A-1 SUP	O-1 SUP	R-HD SUP
C-1	O-2	R-MH-1
C-1 SUP	O-2 SUP	R-MH-2
C-2	R-6	PUD
C-2 SUP	R-6 SUP	SPUD
C-3	R-8	HOS
C-3 SUP	R-10	HOS SUP
C-4	R-22	
C-4 SUP	R-35	
I-1	R-2F	
I-2	R-MD	
I-2 SUP	R-MD SUP	
I-3		

**ZONING MAP FOR PC-2248**  
(SE/4, Sec. 35, T12N, R2W)

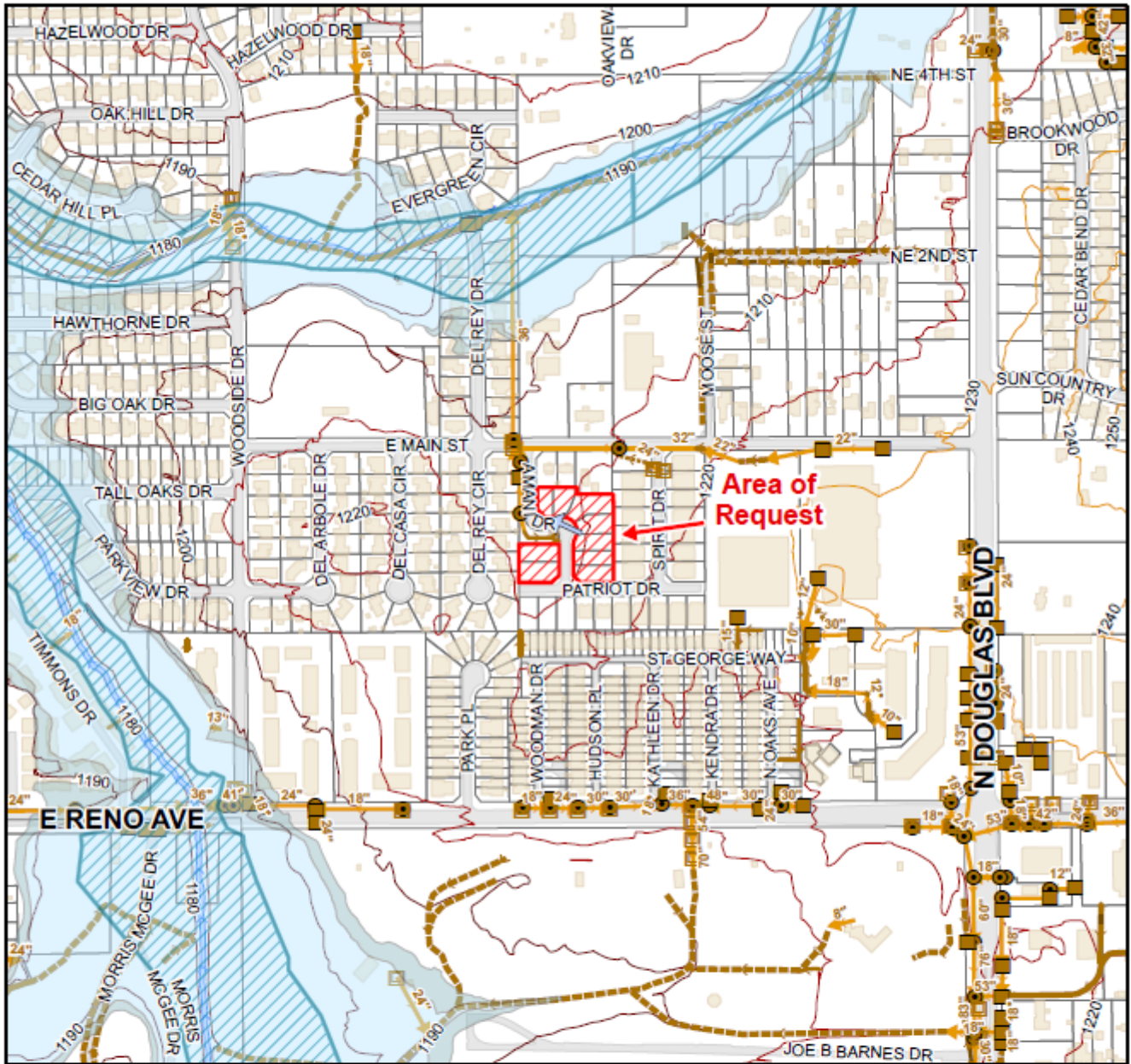


On 8.5" x 11" paper 1 inch equals 500 feet

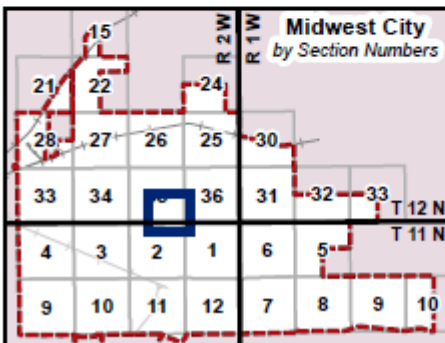
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Locator Map



Drainage Legend

- Curb Inlets
  - Inlets
  - Junction Box
  - Culverts
  - Flumes
  - Developed Channels
  - Trickle Channels
  - Undeveloped Channels
  - Storm Lines
  - Creeks
  - 2008 FEMA Floodplains
  - 500-yr floodplain
  - 100-yr floodplain
  - Floodway
- Contours**
  - 1166-1204 ft
  - 1204-1228 ft
  - 1228-1250 ft
  - 1250-1278 ft
  - 1278-1324 ft
- Slope**
  - <2°
  - 3-5°
  - 6-10°
  - 11-20°

### DRAINAGE MAP FOR PC-2248 (SE/4, Sec 6, T11N, R1W)



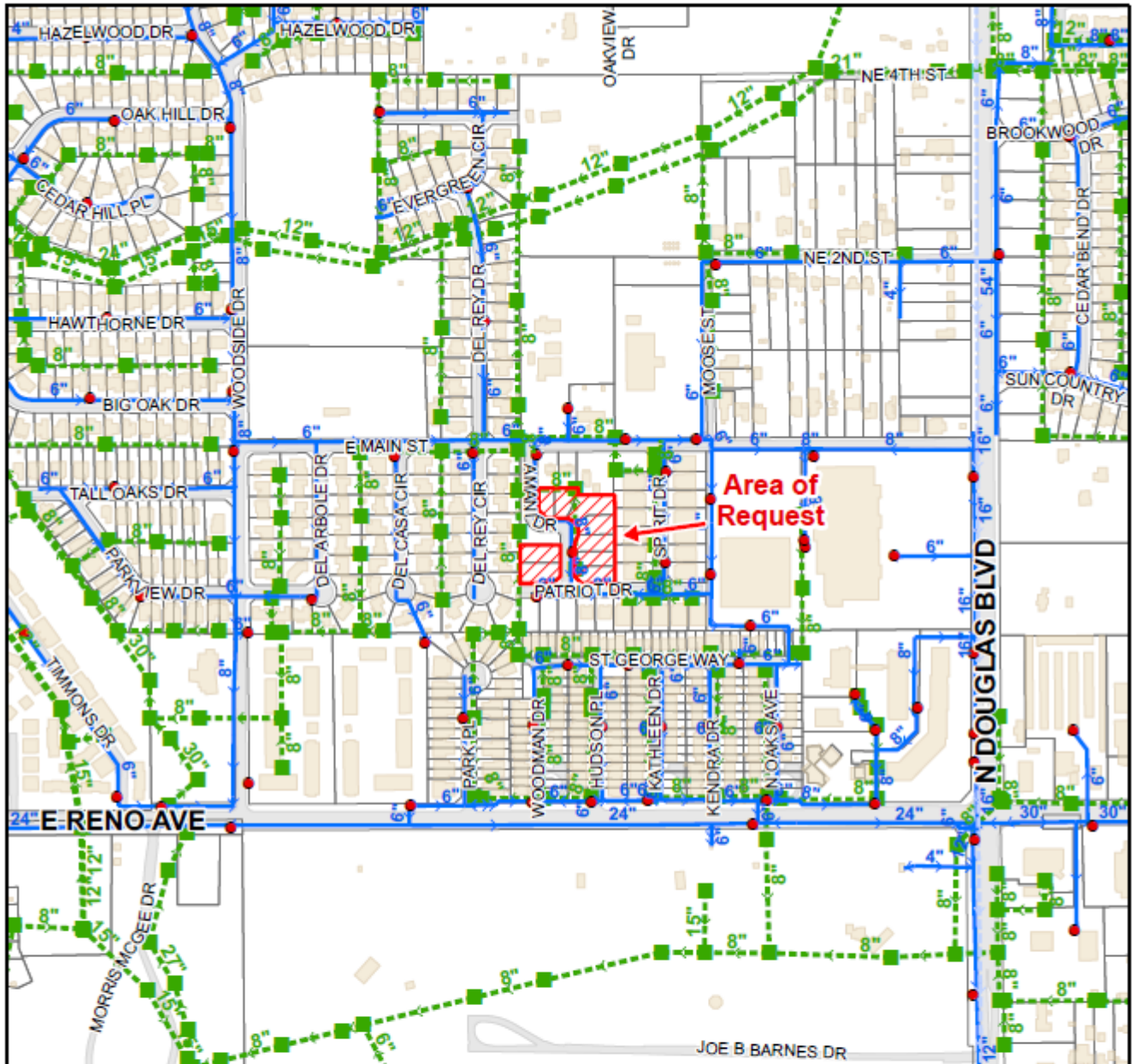
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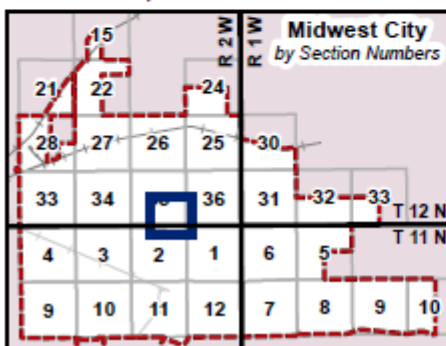
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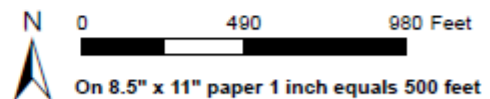
Locator Map



**Water/Sewer Legend**

- Fire Hydrants
- Water Lines**
- Distribution
- Well
- OKC Cross Country
- Sooner Utilities
- Thunderbird
- Unknown
- Sewer Manholes
- Sewer Lines

**WATER SEWER MAP  
FOR PC-2248  
(SE/4, Sec. 35, T12N, R2W)**



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<b>Setback Type</b>	<b>Midwest City Standard</b>	<b>Urban Edge Small Lot (Proposed)</b>	<b>The "Design Logic"</b>
Front Yard	25 Feet	15 – 60 Feet	Pulls the porch closer to the sidewalk to encourage "eyes on the street."
Side Yard	7 Feet (each side)	3 Feet (each side)	Eliminates "dead space" to allow for a functional interior width on a 25'-30' lot, while maintaining fire separation.
Rear Yard	25 Feet	16 Feet	Reclaims land for the home's footprint; car access is handled by the rear alley.
Min. Lot Width	50 – 60 Feet	30 Feet	Splits one duplex lot into two detached "Fee-Simple" ownership lots, on smaller, manageable parcels.
Alley	N/A	16 Feet Wide	Alley made of concrete of 16' width to connect rear-access car garages to the main streets (Amani Drive and Patriot Drive)

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<b>Setback Type</b>	<b>Midwest City Standard</b>	<b>Urban Edge Small Lot (Proposed)</b>	<b>The "Design Logic"</b>
Garage Style	Front-Facing (Standard)	Rear-Access Design	Moves the "car storage" to the back to keep the street view beautiful. Eliminates 16'-20' of concrete at the curb; limited sidewalk interruptions.

1 **PC-2248**

2 **ORDINANCE NO. \_\_\_\_\_**

3 **AN ORDINANCE RECLASSIFYING THE ZONING DISTRICT OF THE PROPERTY**  
4 **DESCRIBED IN THIS ORDINANCE FROM R-2F, TWO-FAMILY ATTACHED**  
5 **RESIDENTIAL DISTRICT, TO PUD, PLANNED UNIT DEVELOPMENT, AND**  
6 **DIRECTING AMENDMENT OF THE OFFICIAL ZONING DISTRICT MAP TO**  
7 **REFLECT THE RECLASSIFICATION OF THE PROPERTY’S ZONING DISTRICT;**  
8 **AND PROVIDING FOR REPEALER AND SEVERABILITY**

9 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF MIDWEST CITY, OKLAHOMA:

10 **ORDINANCE**

11 **SECTION 1.** That the zoning district of the following described property is hereby reclassified  
12 from R-2F, Two-Family Attached Residential District to PUD, Planned Unit Development  
13 subject to the conditions contained in the PC-2248 file, and that the official Zoning District Map  
14 shall be amended to reflect the reclassification of the property’s zoning district as specified in  
15 this ordinance:

16 For the property described as Lots One (1), Two (2), Three (3), Four (4), Five (5), Six (6),  
17 Seven (7), Eight (8), Nine (9), and Ten (10) of Block 1 and Lots Two (2) and Three (3) of  
18 Block 3 of the URBAN EDGE ADDITION, an Addition to Midwest City, Oklahoma County,  
19 Oklahoma, according to the recorded plat thereof.

20 **SECTION 2.** That the PUD master plan is adopted for the property described by the legal  
21 description in Section 1. The master plan consists of both a Design Statement and a Master  
22 Development Plan Map. The master plan is included in this ordinance as Exhibit A. Any  
23 modifications, revisions, or expirations of the PUD master plan will be handled in accordance  
24 with Appendix A of the Midwest City Municipal Code.

25 **SECTION 3. REPEALER.** All ordinances or parts of ordinances in conflict herewith are  
26 hereby repealed.

27 **SECTION 4. SEVERABILITY.** If any section, sentence, clause or portion of this ordinance is  
28 for any reason held to be invalid, such decision shall not affect the validity of the remaining  
29 portions of the ordinance.

30 PASSED AND APPROVED by the Mayor and Council of the City of Midwest City, Oklahoma,  
31 on the \_\_\_\_\_ day of \_\_\_\_\_, 2026.

32 THE CITY OF MIDWEST CITY,  
33 OKLAHOMA

34 \_\_\_\_\_  
35 RICHARD R. RICE, Mayor

36 ATTEST:

\_\_\_\_\_   
SARA HANCOCK, City Clerk

APPROVED as to form and legality this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_   
DONALD MAISCH, City Attorney



City Manager's Office  
Vaughn K. Sullivan,  
Assistant City Manager  
[vsullivan@midwestcityok.org](mailto:vsullivan@midwestcityok.org)  
100 N. Midwest Blvd,  
Midwest City, Oklahoma 73110  
O: 405-739-1207 /Fax: 405-739-1208

MEMORANDUM

TO: Honorable Mayor and Council

FROM: Vaughn K. Sullivan, Assistant City Manager

DATE: June 23, 2026

SUBJECT: Discussion, consideration, and possible action of approving a Guaranteed Maximum Price (GMP) construction management contract with AC Owen Construction, Inc. (ACO) for construction of a two bay addition to the warehouse at the Midwest City Police Fire Training Facility, in an amount not to exceed \$428,811.00 (V. Sullivan – Assistant City Manager, Ward 2)

---

On June 4, 2026, ACO publicly bid all components of the project in accordance with applicable public bidding requirements and subsequently submitted a Guaranteed Maximum Price (GMP) for construction. ACO is requesting approval of the attached GMP Construction Management Contract in an amount not to exceed the base bid of **\$428,811.00**.

Approval of this contract will allow completion of the warehouse addition in accordance with the approved plans and specifications. Due to current budget constraints, the proposed project does not include the alternates for the covered parking structures.

The warehouse addition consists of constructing two additional bays with overhead doors on the south end of the existing facility. This expansion will provide much-needed storage capacity for the Police Department's new BearCat tactical vehicle, the new side-by-side ATV patrol vehicle, and other departmental equipment.

Funding for this contract is budgeted and available through the original Police/Fire Training Facility General Obligation Bond funds.

Staff recommends approval.

---

Vaughn K. Sullivan  
Assistant City Manager

Attachment: Guaranteed Maximum Price Contract with exhibits

**CONSTRUCTION MANAGEMENT SERVICES GUARANTEED  
MAXIMUM PRICE AGREEMENT**  
between  
**AC OWEN CONSTRUCTION**  
And  
**THE CITY OF MIDWEST CITY**

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**THIS CONSTRUCTION MANAGEMENT SERVICES GUARANTEED MAXIMUM PRICE AGREEMENT** (hereinafter referred to as “**Agreement**”) is entered into by and among The City of Midwest City, a municipal corporation (hereinafter referred to as “**City**”), and AC Owen Construction, (hereinafter referred to as “**Service Provider**”) (**City**, and **Service Provider** being collectively referred to herein as the “**Parties**”) and is effective upon the date of execution by the last party hereto.

**WITNESSETH:**

**WHEREAS**, **City** is in need of Construction Management Services for changes to its Police/Fire Training Facility; and

**WHEREAS**, **Service Provider** has the expertise to provide the **City** the necessary Construction Management Services; and

**WHEREAS**, the **City** and the **Service Provider** have reached an agreement for a Guaranteed Maximum Price to complete the changes to the Police/Fire Training Facility (hereinafter referred to as "Project"); and

**WHEREAS**, the **Parties** need the Maximum Price memorialized to move the Project forward; and

**NOW, THEREFORE**, for and in consideration of the above premises and mutual covenants as set forth herein, the **City**, and **Service Provider** hereby agree as follows:

**1. MAXIMUM PRICE ESTABLISHED**

The Contract Sum is guaranteed by the Construction Manager not to exceed Four Hundred Twenty-Eight Thousand, Eight Hundred and Eleven (\$428,811), subject to additions and deductions by any Change Order or Amendment as provided in the Construction Management Services Agreement or any other Contract Documents.

**2. ITEMIZED STATEMENT OF THE GUARANTEED MAXIMUM PRICE**

Provided in **Attachment A** to this **Agreement** is an itemized statement of the Guaranteed

**CONSTRUCTION MANAGEMENT SERVICES GUARANTEED  
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**between**  
**AC OWEN CONSTRUCTION**  
**And**  
**THE CITY OF MIDWEST CITY**

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Maximum Price organized by trade categories, including allowances; the Construction Manager's contingency; alternates; the Construction Manager's Fee; and other items that comprise the Guaranteed Maximum Price, including any alternatives.

**3. COMMENCEMENT DATE AND SUBSTANTIAL COMPLETION DATE**

A. The commencement date for this Agreement shall be June 23, 2026. The completion date for this Agreement shall be June 30, 2027.

B. Unless otherwise provided, the Contract Time is the period of time, including authorized adjustments, allotted in the Contract Documents for Substantial Completion of the Work. The Contract Time shall be measured from the date of commencement of the Work.

**4. INFORMATION UPON WHICH THIS AGREEMENT IS BASED**

The **Parties** hereby acknowledge that:

The Guaranteed Maximum Price and Contract Time set forth in this Amendment are based on the Construction Management Services Agreement or any other Contract Documents.

**5. INDEMNIFICATION**

A. **Service Provider** agrees to indemnify, defend, and hold harmless the **City** from and against all liability for: (a) injuries or death to persons; (b) costs, losses, and expenses; (c) legal fees, legal expenses, and court costs; and (d) damages, loss to property, which are caused by the **Service Provider**, its officers, representatives, agents, contractors, and employees except to the extent such injuries, losses, damages and/or costs are caused by the negligence or willful misconduct of the indemnified party. The **Service Provider** must give the **City** prompt and timely notice of any claim or suit instituted which in any way, directly or indirectly, contingently or otherwise, affects or might affect the **City**, provided, however, such notice will not be a precondition to indemnification hereunder. The rights granted by this paragraph will not limit,

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restrict, or inhibit the rights of the **City** under any other paragraph, including but not limited to any insurance provision or requirement in this **Agreement**.

B. The provisions of this paragraph shall survive the expiration of this **Agreement**. It is understood that these indemnities and hold harmless provisions are not limited or defined by the insurance required under the insurance provisions of this **Agreement**.

**6. NOTICES**

A. Notices and other communications to the **City** pursuant to the provisions hereof will be sufficient if sent by first class mail, postage prepaid, return receipt required, or by a nationally recognized courier service, addressed to:

The City of Midwest City, City Clerk  
100 N. Midwest Boulevard  
Midwest City, OK 73110

respectively, and notices or other communications to the **Service Provider** pursuant to the provisions hereof will be sufficient if by first class mail, postage prepaid, return receipt required, or by a nationally recognized courier service, addressed to:

Connor Poss, Director of Preconstruction  
AC Owen Construction  
1376 Fretz Drive  
Edmond, OK, 73003

B. Any party hereto may change the address or addressee for the giving of notice to it by thirty (30) days prior written notice to the other parties hereto as provided herein. Unless otherwise specified in this **Agreement**, notice will be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to this paragraph.

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**7. ABIDES BY LAW**

The **Service Provider** must abide by the conditions of this **Agreement**, the ordinances of the **City**, and all laws and regulations of the State of Oklahoma and the United States of America (“Laws”), applicable to **Service Provider’s** activities. **Service Provider** will be responsible for securing any license, permits and/or zoning which may be required prior to commencement of the Project.

**8. ASSIGNMENT AND SUBLEASE**

**Service Provider** may not assign or sublease its interest under this **Agreement** without the prior written consent of the **City**. Any assignment or sublease shall become effective upon receipt of a request signed by authorized and empowered officers/agents of the **Service Provider** and sublessee and provision by the sublessee of a certificate of insurance evidencing the insurance required by this **Agreement** and upon approval of such sublease by **City**. The **City** may, but not required, to execute a letter approving either the assignment or sublease as provided herein on behalf of **City**. Upon approval of such assignment or sublease, **Service Provider** will not be relieved of future performance, liabilities, and obligations under this **Agreement**. **City** shall be provided with a copy of each written sublease agreement, and all amendments thereto, entered into by **Service Provider** within forty-five (45) days after the entering into of same.

**9. COMPLETE AGREEMENT AND AMENDMENT**

This is the complete agreement between the parties and no additions, amendments, alterations, or changes in this **Agreement** shall be effective unless reduced to writing and signed by all parties hereto. Additionally, no statements, discussions, or negotiations shall be deemed or interpreted to be included in this **Agreement**, unless specifically and expressly provided herein.

**10. TIME OF ESSENCE**

For the purposes of this **Agreement**, time shall be deemed to be of the essence.

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**between**  
**AC OWEN CONSTRUCTION**  
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**11. MULTIPLE ORIGINALS**

This **Agreement** shall be executed in multiple counterparts, each of which shall be deemed an original.

**12. ANTI-COLLUSION**

**Service Provider** agrees that it has not been and shall not be a party to any collusion with any of their officials, trustees, or employees of the **City** as to the terms or conditions of this **Agreement**, and has not and will not exchange, give or donate money or other things of value for special consideration to any officials, trustees, or employees of the **City**, either directly or indirectly, in procuring and execution of this **Agreement**.

**13. THIRD PARTY BENEFICIARIES**

All parties expressly agree that no third-party beneficiaries, expressly or implicitly, are intended to be or shall be created or acknowledged by this **Agreement**. This **Agreement** is solely for the benefit of the **Service Provider** and the **City**, and none of the provisions hereof are intended to benefit any third parties.

**14. VENUE AND CHOICE OF LAW**

All parties hereto expressly agree that the venue of any litigation relating to or involving this **Agreement** and/or the rights, obligations, duties and covenants therein shall be in the appropriate court (state or federal) located in Oklahoma County, Oklahoma. All parties agree that this **Agreement** shall be interpreted and enforced in accordance with Oklahoma law and all rights of the parties shall be determined in accordance with Oklahoma law.

**15. DISPUTE RESOLUTION**

Either **Party** may commence the dispute resolution process pursuant to this provision, by providing the other **Party** written notice of the dispute between the **Parties** concerning any term

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of this **Agreement** or attachment hereto. The notice shall contain:

- (i) a statement setting forth the position of the party giving such notice and a summary of arguments supporting such position and
- (ii) the name and title of **Party** Representative and any other Persons who will accompany the Representative at the meeting at which the parties will attempt to settle the Dispute.

Within ten (10) days of receipt of the notice, the other **Party** shall respond with

- (i) a statement setting forth the position of the party giving such notice and a summary of arguments supporting such position and
- (ii) the name and title of **Party** Representative and any other Persons who will accompany the Representative at the meeting at which the parties will attempt to settle the Dispute.

The **Parties** shall make good faith attempts to negotiate a settlement between their appointed representatives. If the **Parties** are unable to settle the dispute themselves, the **Parties** shall be required to mediate the dispute, with the **Parties** equally sharing in the cost of said mediation. Mediation shall last at least six (6) hours and be attempted before any litigation shall be filed.

## **16. VALIDITY**

The invalidity or unenforceability of any provision of this **Agreement** shall not affect the validity or enforceability of any other provisions of this **Agreement**, which shall remain in full force and effect.

## **17. NO WAIVER**

The failure or neglect of either of the **Parties** hereto to insist, in any one or more instances, upon the strict performance of any of the terms or conditions of this **Agreement**, or waiver by any party of strict performance of any of the terms or conditions of this **Agreement**,

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shall not be construed as a waiver or relinquishment in the future of such term or condition, but such term or condition shall continue in full force and effect.

**18. NO EXTRA WORK**

No claims for extra work, product, services, solution, or deliverables of any kind or nature or character shall be recognized or paid by or be binding upon the **City** unless such services, work, product, solution, or deliverable is first requested and approved in writing by the **City** through a purchase order.

**19. AMENDMENT**

This **Agreement** may be amended by mutual agreement of the **Parties**, in writing and signed by both **Parties**. The **City** hereby delegates to the City Manager all amendments to this **Agreement** for approval and execution, unless the amendment would increase the contracted amount by more than ten percent (10%).

**20. EFFECTIVE DATE**

The Effective Date of this **Agreement** is the date approved by the **City** as the last party hereto.

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**CONSTRUCTION MANAGEMENT SERVICES GUARANTEED  
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between  
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IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute and seal this **Agreement** on the dates set forth below.

**Service Provider:** AC Owen Construction

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

***[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BANK]***

**CONSTRUCTION MANAGEMENT SERVICES GUARANTEED  
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**between**

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**APPROVED** by the Council and **SIGNED** by the Mayor of The City of Midwest City this  
\_\_\_\_\_ day of \_\_\_\_\_, 2026.

**THE CITY OF MIDWEST CITY**

\_\_\_\_\_  
RICHARD R. RICE, MAYOR

\_\_\_\_\_  
SARA HANCOCK, CITY CLERK

**REVIEWED** for form and legality.

\_\_\_\_\_  
DONALD D. MAISCH, CITY ATTORNEY

# A|C|OWEN

C O N S T R U C T I O N

**Project Name**

Midwest City Police & Fire Training Facility  
8754 SE 15th Street  
Midwest City, OK 73110

**Date**

6.10.26

**Architect**

Guernsey

**Design**

Bid Day

**Owner**

City of Midwest City



**DELIVERING VISION. EXCEEDING EXPECTATIONS. BUILDING HISTORY.**

Schedule of Values			
Division	Description		Notes
<b>01 GENERAL CONDITIONS</b>		<b>\$ 68,701</b>	
	GENERAL CONDITIONS	\$ 60,147	
	TESTING	\$ 6,054	WSB
	SURVEYING/STAKING	\$ 2,500	ALLOWANCE
<b>03 CONCRETE</b>		<b>\$ 122,700</b>	
	CONCRETE TURNKEY	\$ 115,200	CEI
	CEMENTITIOUS PATCHING	\$ 7,500	ALLOWANCE
<b>05 STRUCTURAL STEEL</b>		<b>\$ 1,500</b>	
	MISC. STEEL ITEMS	\$ 1,500	
<b>06 CARPENTRY / MILLWORK</b>		<b>\$ 2,500</b>	
	ROUGH CARPENTRY	\$ 2,500	
<b>08 OPENINGS / GLAZING</b>		<b>\$ 22,354</b>	
	DOORS/FRAME/HARDWARE	\$ 2,927	ALL COMMERCIAL OPENINGS
	OVERHEAD DOORS	\$ 19,427	OKLAHOMA DOOR AND DOCK
<b>09 FRAME / FINISHES</b>		<b>\$ 3,830</b>	
	PAINT / COATINGS	\$ 3,830	DRL COATINGS
<b>10 SPECIALTIES</b>		<b>\$ 250</b>	
	FEC	\$ 250	
<b>13 PEMB</b>		<b>\$ 117,332</b>	
	PEMB	\$ 82,722	ALLIANCE
	PEMB INSTALL	\$ 31,110	RD SIMPSON
	ANCHOR BOLTS	\$ 3,500	
<b>16 ELECTRICAL/ LV</b>		<b>\$ 14,470</b>	
	ELECTRICAL	\$ 14,470	BAKER BROTHERS
<b>SUBTOTALS</b>		<b>\$ 353,637</b>	
<b>CM OVERHEAD &amp; FEE</b>		<b>\$ 53,046</b>	15%
<b>BOND</b>		<b>\$ 3,633</b>	
<b>BUILDERS RISK INSURANCE</b>		<b>\$ 813</b>	0.20%
<b>PERMIT FEES</b>		<b>\$ -</b>	
<b>CM CONTINGENCY</b>		<b>\$ 17,682</b>	5.0%
<b>TOTAL</b>		<b>\$ 428,811</b>	

ALTERNATES			
NUM	DESCRIPTION	COST	NOTES
01	FULL CANOPY - 16 PARKING SPOTS	\$ 329,460.00	
02	CANOPY - 12 PARKING SPOTS	\$ 265,244.00	
03	CANOPY - 8 PARKING SPOTS	\$ 153,824.00	



**Public Works Administration**

8730 S.E. 15<sup>th</sup> Street,  
Midwest City, Oklahoma 73110

**Public Works Director**

[pstreets@midwestcityok.org](mailto:pstreets@midwestcityok.org)

(405) 739-1061

**Assistant Public Works Director**

[cevenson@midwestcityok.org](mailto:cevenson@midwestcityok.org)

(405) 739-1062

[www.midwestcityok.org](http://www.midwestcityok.org)

To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of awarding the bid to and approving a contract with Hoey Construction Company, in the amount of \$2,397,000.00 to furnish all materials, equipment, and tools, provide all necessary labor, and complete all construction necessary for the Mid-America Park, Phase 2, project and authorizing the City Manager to execute the contract. (R. Paul Streets – Public Works Director). (Ward – 5).

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Planning for the expansion of Mid-America Park began in 2017 with the development of a master plan for the park. The master plan included community meetings (11/15/2017 and 03/14/2018) as well as presentation and acceptance by the Park Board and the City Council. The first phase of the park expansion began in 2024 and was completed in 2025 with the opening of the disc golf course and practice area. Design of the Phase 2 improvements, which include a neighborhood park between Penny Drive and Campbell Drive, additional parking near the Phase 1 playground, a monument sign for the main entrance, a pre-fabricated restroom, solar lighting, a new basketball court, and rehabilitation of the existing basketball court, began in the summer of 2025.

This contract is for services associated with construction of the Phase 2 improvements to Mid-America Park as recommended in the master plan. The bid opening occurred on May 14, 2026, for the above referenced project. Two (2) bids were received. Based on the information received and the recommendation of the design engineer, staff recommends award of the bid to Hoey Construction Company, who submitted the lowest and best bid that met specifications, in the amount of \$2,397,000.00. Because the contract is still under negotiation, the Council authorizes the City Manager to execute the contract.

The recommendation letter and bid tabulations are attached. Funds for this project are available in Funds 123, 157, 270, and 425.

Respectfully,

R. Paul Streets  
Public Works Director

Attachment

June 1, 2026

Ms. Carrie Evenson  
Assistant Public Works Director  
City of Midwest City  
8730 SE 15th Street  
Midwest City, Oklahoma 73110

RE: Construction Contract Award  
Project Name: Mid America Park – Phase 2 Improvements Project

Dear Ms. Evenson,

After a detailed review of the bids submitted for the Mid America Park – Phase 2 Improvements Project, we recommend awarding the contract to Hoey Construction. Below is a summary of the evaluation process and the reasoning for this recommendation. A detailed bid tabulation form is attached for your reference.

### **Bid Evaluation Summary**

**1. Bids Received:**

A total of two bids were received for the project. The bid tabulation form (see attached) provides a detailed comparison of all submitted bids, including pricing and responsiveness to the bid requirements.

**2. Review of Bidder:**

Hoey Construction submitted the lowest responsible and responsive bid for the project.

### **Recommendation for Award**

Based on the evaluation, we recommend awarding the contract for the Mid America Park – Phase 2 Improvements Project to Hoey Construction for the total bid amount of \$2,397,000.00.

### **Attachments**

For transparency, the attached bid tabulation form provides a comprehensive overview of all bids received.

If you have any questions or need additional information, please feel free to contact us.

Sincerely,



Robert L. Shears ASLA, PLA  
President, R. L. Shears Company, PC

LANDSCAPE ARCHITECT'S ESTIMATE  
CITY OF MIDWEST CITY  
MID-AMERICA PARK  
5-19-2026

NEIGHBORHOOD PARK, ADDITIONAL PARKING AND RESTROOM - (PARTICIPATING)						Hoey Construction Company				C4L INCOMPLETE SUBMITTAL				
ITEM #	ITEM	DESCRIPTION	UNIT	QUAN.	UNIT \$	EXTENDED	AS WRITTEN	EXTENDED	AS TABULATED	EXTENDED	AS WRITTEN	EXTENDED	AS TABULATED	EXTENDED
1	SP2	PAVILION	LSUM	1	\$162,000.00	\$162,000.00	\$244,035.00	\$244,035.00	\$244,035.00	\$244,035.00	\$344,000.00	\$344,000.00	\$344,000.00	\$344,000.00
2	SP3	PLAY EQUIPMENT AND INSTALLATION	LSUM	1	\$305,000.00	\$305,000.00	\$233,460.00	\$233,460.00	\$233,460.00	\$233,460.00	\$304,000.00	\$304,000.00	\$304,000.00	\$304,000.00
3	SP4	POURED IN PLACE (P.I.P.) SAFETY SURFACE	CY	4339	\$29.00	\$125,715.00	\$27.40	\$118,779.00	\$27.40	\$118,779.00	\$35.00	\$152,811.00	\$35.00	\$152,811.00
4	SP5	MONUMENT SIGN	LSUM	1	\$5,500.00	\$5,500.00	\$17,500.00	\$17,500.00	\$17,500.00	\$17,500.00	\$20,000.00	\$20,000.00	\$20,000.00	\$20,000.00
5	SP6	BENCH	EA	3	\$1,600.00	\$4,800.00	\$1,669.00	\$5,007.00	\$1,669.00	\$5,007.00	\$4,400.00	\$13,200.00	\$4,400.00	\$13,200.00
6	SP7	TRASH RECEPTACLE	EA	2	\$4,000.00	\$8,000.00	\$4,581.00	\$9,162.00	\$4,581.00	\$9,162.00	\$7,300.00	\$14,600.00	\$7,300.00	\$14,600.00
7	SP8	PICNIC TABLE	EA	1	\$3,000.00	\$3,000.00	\$3,775.00	\$3,775.00	\$3,775.00	\$3,775.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00
8	SP9	ADA ACCESSIBLE PICNIC TABLE	EA	1	\$3,400.00	\$3,400.00	\$3,775.00	\$3,775.00	\$3,775.00	\$3,775.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00
9	SP10	EARTHWORK	LSUM	1	\$50,000.00	\$50,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$76,000.00	\$76,000.00	\$76,000.00	\$76,000.00
10	SP11	CLEARING AND GRUBBING	LSUM	1	\$15,000.00	\$15,000.00	\$25,000.00	\$25,000.00	\$25,000.00	\$25,000.00	\$16,000.00	\$16,000.00	\$16,000.00	\$16,000.00
11	SP12	SELECTIVE CLEARING	LSUM	1	\$5,000.00	\$5,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$10,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00
12	SP13	UNCLASSIFIED EXCAVATION	CY	100	\$32.00	\$3,200.00	\$35.00	\$3,500.00	\$35.00	\$3,500.00	\$54.00	\$5,400.00	\$54.00	\$5,400.00
13	SP14	UNCLASSIFIED BORROW	CY	100	\$40.00	\$4,000.00	\$45.00	\$4,500.00	\$45.00	\$4,500.00	\$54.00	\$5,400.00	\$54.00	\$5,400.00
14	SP15	TEMPORARY SILT FENCE	LF	60	\$3.00	\$180.00	\$10.00	\$600.00	\$10.00	\$600.00	\$5.00	\$300.00	\$5.00	\$300.00
15	SP16	TURF REINFORCEMENT (FLEXAMAT)	SY	181	\$90.00	\$16,308.00	\$142.00	\$25,702.00	\$142.00	\$25,702.00	\$18.00	\$3,240.00	\$18.00	\$3,240.00
16	329000	PLANTING	LSUM	1	\$21,700.00	\$21,700.00	\$13,395.00	\$13,395.00	\$13,395.00	\$13,395.00	\$7,000.00	\$7,000.00	\$7,000.00	\$7,000.00
17	329000	CANOPY TREE	EA	4	\$1,800.00	\$7,200.00	\$1,041.00	\$4,164.00	\$1,041.00	\$4,164.00	\$800.00	\$3,200.00	\$800.00	\$3,200.00
18	329000	ORNAMENTAL TREE	EA	12	\$900.00	\$10,800.00	\$675.00	\$8,100.00	\$675.00	\$8,100.00	\$800.00	\$9,600.00	\$800.00	\$9,600.00
19	329200	SOLID SLAB SODDING	SY	5089	\$6.00	\$30,534.66	\$5.00	\$25,445.00	\$5.00	\$25,445.00	\$6.00	\$30,534.66	\$6.00	\$30,534.66
20	SP18	CLASS A CONCRETE	CY	80	\$750.00	\$60,000.00	\$400.00	\$32,000.00	\$400.00	\$32,000.00	\$370.00	\$29,600.00	\$370.00	\$29,600.00
21	SP19	AGGREGATE BASE TYPE A	CY	4	\$80.00	\$320.00	\$125.00	\$500.00	\$125.00	\$500.00	\$55.00	\$220.00	\$55.00	\$220.00
22	SP20	AGGREGATE BASE TYPE E	CY	24	\$75.00	\$1,800.00	\$85.00	\$2,040.00	\$85.00	\$2,040.00	\$92.00	\$2,208.00	\$92.00	\$2,208.00
23	SP21	TACTILE WARNING DEVICE	SF	48	\$50.00	\$2,400.00	\$40.00	\$1,920.00	\$40.00	\$1,920.00	\$44.00	\$2,112.00	\$44.00	\$2,112.00
24	SP22	SEPARATOR FABRIC	SY	100	\$10.00	\$1,000.00	\$3.00	\$300.00	\$3.00	\$300.00	\$28.00	\$2,800.00	\$28.00	\$2,800.00
25	SP23	GEOGRID REINFORCEMENT	SY	100	\$12.00	\$1,200.00	\$5.00	\$500.00	\$5.00	\$500.00	\$28.00	\$2,800.00	\$28.00	\$2,800.00
26	SP24	P.C. CONCRETE PAVEMENT (PLACEMENT)	SY	2504	\$75.00	\$187,800.00	\$27.00	\$67,608.00	\$27.00	\$67,608.00	\$35.00	\$87,640.00	\$35.00	\$87,640.00
27	SP25	P.C. CONCRETE FOR PAVEMENT	CY	417	\$135.00	\$56,349.00	\$225.00	\$93,825.00	\$225.00	\$93,825.00	\$353.00	\$147,201.00	\$353.00	\$147,201.00
28	SP26	CONCRETE HEADER CURB	LF	97	\$30.00	\$2,905.20	\$35.00	\$3,395.00	\$35.00	\$3,395.00	\$51.00	\$4,950.00	\$51.00	\$4,950.00
29	SP27	(PL) PARKING BLOCK	EA	16	\$150.00	\$2,400.00	\$275.00	\$4,400.00	\$275.00	\$4,400.00	\$135.00	\$2,160.00	\$135.00	\$2,160.00
30	SP28	5" CONCRETE SIDEWALK	SY	613	\$105.00	\$64,375.50	\$90.00	\$55,170.00	\$90.00	\$55,170.00	\$119.00	\$72,947.00	\$119.00	\$72,947.00
31	SP29	4" PERFORATED PIPE UNDERDRAIN ROUND	LF	247	\$18.00	\$4,446.00	\$50.00	\$12,350.00	\$50.00	\$12,350.00	\$7.00	\$1,729.00	\$7.00	\$1,729.00
32	SP30	4" NON-PERF. PIPE UNDERDRAIN RND.	LF	41	\$16.00	\$656.00	\$50.00	\$2,050.00	\$50.00	\$2,050.00	\$17.00	\$697.00	\$17.00	\$697.00
33	SP31	OUTLET LATERAL HEADWALL	EA	1	\$1,000.00	\$1,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$3,000.00	\$6,840.00	\$6,840.00	\$6,840.00	\$6,840.00
34	SP34	PREFABRICATED RESTROOM	LSUM	1	\$250,000.00	\$250,000.00	\$189,570.00	\$189,570.00	\$189,570.00	\$189,570.00	\$308,000.00	\$308,000.00	\$308,000.00	\$308,000.00
35	SP38	SOLAR LIGHTING	LSUM	1	\$20,000.00	\$20,000.00	\$20,000.00	\$20,000.00	\$20,000.00	\$20,000.00	\$6,000.00	\$6,000.00	\$6,000.00	\$6,000.00
36	SP39	REMOVAL OF CURB	LF	50	\$15.00	\$750.00	\$20.00	\$1,000.00	\$20.00	\$1,000.00	\$35.00	\$1,750.00	\$35.00	\$1,750.00
37	SP40	REMOVAL OF CONCRETE ROADWAY	SY	115	\$18.00	\$2,070.00	\$30.00	\$3,450.00	\$30.00	\$3,450.00	\$57.00	\$6,555.00	\$57.00	\$6,555.00
38	SP41	SHEET ALUMINUM SIGNS	SF	4	\$30.00	\$120.00	\$100.00	\$400.00	\$100.00	\$400.00	\$150.00	\$600.00	\$150.00	\$600.00
39	SP42	2" GALV. STEEL PIPE SIGN POST	LF	24	\$20.00	\$480.00	\$10.00	\$240.00	\$10.00	\$240.00	\$50.00	\$1,200.00	\$50.00	\$1,200.00
40	SP43	TRAFFIC STRIPE(MULTI-POLY)(4*)(WHITE)	LF	860	\$6.00	\$5,160.00	\$5.00	\$4,300.00	\$5.00	\$4,300.00	\$4.00	\$3,440.00	\$4.00	\$3,440.00
41	SP45	TRAFFIC STRIPE(MULTI-POLY)(SYMBOLS)	EA	2	\$500.00	\$1,000.00	\$275.00	\$550.00	\$275.00	\$550.00	\$450.00	\$900.00	\$450.00	\$900.00
42	SP46	STAKING	LSUM	1	\$14,500.00	\$14,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$7,500.00	\$48,000.00	\$48,000.00	\$48,000.00	\$48,000.00
43	SP47	MOBILIZATION	LSUM	1	\$165,485.41	\$165,485.41	\$456,447.80	\$456,447.80	\$456,447.80	\$456,447.80	\$66,582.94	\$66,582.94	\$66,582.94	\$66,582.94

PARTICIPATING SUBTOTAL \$1,627,554.77 \$1,818,414.60 \$1,818,414.60 \$1,969,054.94 \$1,969,054.94

BASKETBALL COURTS - (NON PARTICIPATING)														
44	SP1	BASKETBALL GOALS	EA	6	\$5,300.00	\$31,800.00	\$6,250.00	\$37,500.00	\$6,250.00	\$37,500.00	\$48,000.00	\$288,000.00	\$48,000.00	\$288,000.00
45	SP6	BENCH	EA	4	\$1,600.00	\$6,400.00	\$1,669.00	\$6,676.00	\$1,669.00	\$6,676.00	\$4,400.00	\$17,600.00	\$4,400.00	\$17,600.00
46	SP7	TRASH RECEPTACLE	EA	1	\$4,000.00	\$4,000.00	\$4,581.00	\$4,581.00	\$4,581.00	\$4,581.00	\$7,300.00	\$7,300.00	\$7,300.00	\$7,300.00
47	SP10	EARTHWORK	LSUM	1	\$35,000.00	\$35,000.00	\$40,000.00	\$40,000.00	\$40,000.00	\$40,000.00	\$40,000.00	\$40,000.00	\$40,000.00	\$40,000.00
48	SP12	SELECTIVE CLEARING	LSUM	1	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00
49	SP17	8" CLASS AA CONCRETE(PT COURT SLAB)	SY	1	\$115,200.00	\$115,200.00	\$129,600.00	\$129,600.00	\$129,600.00	\$129,600.00	\$198,936.00	\$198,936.00	\$198,936.00	\$198,936.00
50	SP18	CLASS A CONCRETE, SMALL STRUCTURES	CY	0.8	\$750.00	\$600.00	\$250.00	\$200.00	\$250.00	\$200.00	\$935.00	\$748.00	\$935.00	\$748.00
51	328400	IRRIGATION	LSUM	1	\$15,000.00	\$15,000.00	\$25,355.00	\$25,355.00	\$25,355.00	\$25,355.00	\$8,200.00	\$8,200.00	\$8,200.00	\$8,200.00
52	329000	PLANTING	LSUM	1	\$29,000.00	\$29,000.00	\$78,799.00	\$78,799.00	\$78,799.00	\$78,799.00	\$20,000.00	\$20,000.00	\$20,000.00	\$20,000.00
53	329000	CANOPY TREE	EA	3	\$1,800.00	\$5,400.00	\$632.00	\$1,896.00	\$632.00	\$1,896.00	\$800.00	\$2,400.00	\$800.00	\$2,400.00
54	329199	SOLID SLAB SODDING	SY	1704.22	\$6.00	\$10,225.32	\$5.00	\$8,521.10	\$5.00	\$8,521.10	\$6.00	\$10,225.32	\$6.00	\$10,225.32
55	SP19	TYPE A AGGREGATE BASE	CY	362	\$80.00	\$28,960.00	\$90.00	\$32,580.00	\$90.00	\$32,580.00	\$55.00	\$19,910.00	\$55.00	\$19,910.00
56	SP20	TYPE E AGGREGATE BASE	CY	4.58	\$75.00	\$343.50	\$85.00	\$389.30	\$85.00	\$389.30	\$92.00	\$421.36	\$92.00	\$421.36
57	SP24	P.C. CONCRETE PAVEMENT (PLACEMENT)	SY	8	\$75.00	\$612.00	\$27.00	\$216.00	\$27.00	\$216.00	\$35.00	\$280.00	\$35.00	\$280.00
58	SP25	P.C. CONCRETE FOR PAVEMENT	CY	1.36	\$135.00	\$183.60	\$225.00	\$225.00	\$225.00	\$225.00	\$350.00	\$476.00	\$350.00	\$476.00
59	SP28	5" CONCRETE SIDEWALK	SY	110	\$105.00	\$11,550.00	\$90.00	\$9,900.00	\$90.00	\$9,900.00	\$119.00	\$13,090.00	\$119.00	\$13,090.00
60	SP29	4" PERFORATED PIPE UNDERDRAIN ROUND	LF	75	\$18.00	\$1,350.00	\$50.00	\$3,750.00	\$50.00	\$3,750.00	\$7.00	\$525.00	\$7.00	\$525.00
61	SP32	PIPE RAILING	LF	19.3	\$28.00	\$536.40	\$300.00	\$5,790.00	\$300.00	\$5,790.00	\$195.00	\$3,763.50	\$195.00	\$3,763.50
62	SP33	BLOCK RETAINING WALL & CAP	SF	150	\$70.00	\$10,500.00	\$88.00	\$13,200.00	\$88.00	\$13,200.00	\$91.00	\$13,650.00	\$91.00	\$13,650.00
63	SP35	COURT SURFACING	SF	17614	\$4.50	\$79,263.00	\$5.00	\$88,070.00	\$5.00	\$88,070.00	\$3.30	\$58,126.20	\$3.30	\$58,126.20
64	SP36	10' HIGH CHAIN LINK FENCE	LF	357	\$65.00	\$23,197.50	\$111.00	\$39,627.00	\$111.00	\$39,627.00	\$98.00	\$35,272.00	\$98.00	



**Public Works Administration**  
**R. Paul Streets, Director**  
 rstreets@midwestcityok.org  
**Carrie J. Evenson, Assistant Director**  
 cevenson@midwestcityok.org  
 8730 S.E. 15<sup>th</sup> Street,  
 Midwest City, Oklahoma 73110  
 O: 405-739-1060 /Fax: 405-739-1090

To: Honorable Mayor and Council

From: R. Paul Streets, Public Works Director

Date: June 23, 2026

Subject: Discussion, consideration, and possible action of approving a contract between the City of Midwest City, Midwest City Municipal Authority, and Allied Waste Systems, Inc., DBA Republic Services of Oklahoma City to provide citywide curbside recycling and industrial solid waste collection services and delegating to the City Manager the authority to execute the contract.

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Midwest City currently provides curbside recycling to approximately 22,000 residential addresses using 96-gallon wheeled carts through a third-party contractor, Allied Waste Systems, Inc., DBA Republic Services of Oklahoma City (Republic Services). Recycling collection occurs on a biweekly schedule, and the program operates under a single-stream, co-mingled system. Republic Services also provides industrial sanitation services to businesses using compactors and roll-offs under a service agreement managed by the City. Work consists of maintaining and/or hauling compactors and roll-offs as deemed necessary by the City and Authority. The contracts for these services expire on June 30, 2026, and the City and Authority needed to seek proposals from qualified firms to provide curbside recycling services and industrial solid waste services.

On March 24, 2026, the City and Authority issued a Request for Proposals. Proposals were received from five (5) qualified businesses. Interviews were held on May 13, 2026, and Republic Services was selected unanimously by the interview panel. A contract is currently under negotiation with Republic Services for both curbside recycling and industrial solid waste collection services. The fee schedule for services is included below.

## Curbside Recycling Pricing

### Residential Curbside Recycling (city provided carts)

	Monthly Rate per Cart
95 Gallon Cart	\$4.00
Charge for Additional Cart	\$3.79

# Industrial Pricing

## Compactor Units

<b>New Equipment</b>	Haul Rate*	Monthly Rental
2 yard Stationary	n/a	\$328.15
40 yard Receiving Container	\$357	\$101.57
30 yard Self-Contained Compactor	\$357	\$429.73
35 yard Self-Container Compactor	\$357	\$429.73

<b>Used Equipment</b>	Haul Rate*	Monthly Rental
2 yard Stationary	n/a	\$246.89
40 yard Receiving Container	\$357	\$76.54
30 yard Self-Contained Compactor	\$357	\$328.15
35 yard Self-Container Compactor	\$357	\$328.15

\* Haul rate includes up to four (4) tons per haul.

## Roll-Off Containers – Solid Waste and Recycling

	Haul Rate*	Monthly Rental
30 yard Roll-off	\$357	No charge
40 yard Roll-off	\$357	No charge

\* Haul rate includes up to four (4) tons per haul.

## Anything over 4 Tons / Container Washout

	Cost	Unit
Compactor and roll-off haul rate for anything over 4 tons	\$28.28	Per ton over 4 tons
Container Washout – roll off	\$156.14	
Container Washout – compactor	\$312.25	

Relocate Charge	\$	96.64
Dry Run Charge	\$	96.64

Funding for this project is available in Account No. 190-4110-432.30-40. The City Council hereby delegates to the City Manager the authority to execute the contract.

Action is at the discretion of the City Council.

Respectfully,



R. Paul Streets  
Public Works Director



NEW BUSINESS/  
PUBLIC DISCUSSION





EXECUTIVE SESSION





**City Manager**  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
[tlyon@midwestcityok.org](mailto:tlyon@midwestcityok.org)  
Office: 405.739.1201  
[www.midwestcityok.org](http://www.midwestcityok.org)

MEMORANDUM

TO: Honorable Mayor and Councilmembers

FROM: Tim Lyon, City Manager

DATE: June 23, 2026

SUBJECT: Discussion, consideration, and possible action to 1) entering into executive session, as allowed under Title 25 Section 307 (B)(4) to discuss confidential communications between a public body and its attorney concerning a pending investigation, claim, or action of the public body with the advice of its attorney, determines that disclosure will seriously impair the ability of the public body to process the claim or conduct a pending investigation, litigation, or proceeding in the public interest regarding review of litigated settlements, White Tort Claim; and 2) authorizing the City Manager to take action as appropriate based on discussion.

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Appropriate information will be given out during the Executive Session.

Regards,

*Tim L. Lyon*

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Tim Lyon  
City Manager



FURTHER INFORMATION





Community Development Department  
100 N. Midwest Blvd, Midwest City, OK

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To: Honorable Mayor and Council  
From: Matt Summers, Community Development Director  
Date: June 23, 2026  
Subject: (PC-2239) Public hearing, discussion, consideration, and possible action on a preliminary plat, for the property described as a tract of land being a part of the East Half (E/2) of Section Eight (8), Township Eleven (11) North, Range One (1) West of the Indian Meridian, Oklahoma County Oklahoma. (Ward 6)

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In an email dated May 27, 2026, the applicant requested this application be postponed. Community Development Staff will send new public notice indicating the time, date, and location for when this item will be heard. Please let me know if you have any questions.

Sincerely,

Matt Summers, AICP  
Community Development Director



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TO : Honorable Mayor and Council

FROM : Randall Fryar, Chief Building Official

DATE : June 23, 2026

SUBJECT : Monthly Residential and Commercial Building report for May, 2026

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The monthly building report is now available for review. This document is essential for all stakeholders involved in tracking and managing permits.

On a national scale, recent statistics indicate a slight recovery in new housing permits compared to previous months. This improvement can be attributed to a decrease in financing costs and a stabilization of building material prices, which have posed significant challenges. Many cities within our region continue to face these issues, leading to innovative solutions and renewed resilience.

We have noted that the overall number of new home permits has remained stable compared to last year, indicating continued resilience in our market. Additionally, we are pleased to report that, to date, we have received 1,739 permit requests since January 1, 2026. We are currently a month ahead of where we were this time last year.

If you have any questions or need further information, please feel free to reach out.

Sincerely,

*Randall Fryar*

Randall Fryar  
Chief Building Official



100 N Midwest Boulevard - Midwest City, OK 73110

**Building Permits Summary - Issued 5/1/2026 to 5/31/2026**

**Building - Commercial & Industrial**

<u>Count</u>	<u>Permit Type</u>	<u>Value</u>
1	Alteration of Man Home Or Const of Space	\$70,000.00
1	Cell Tower Modification Bldg Permit	\$20,000.00
1	Com Addition Bldg Permit	\$8,400,000.00
2	Com Driveway Permit	\$2,000.00
2	Com Fence Permit	\$128,572.00
2	Com General Electrical Permit	
3	Com General Mechanical Permit	\$892,465.00
6	Com General Plumbing Permit	\$4,398.00
2	Com New Certificate of Occupancy	\$320,000.00
5	Com New Const Electrical Permit	\$0.00
1	Com New Const Mechanical Permit	
2	Com New Const Plumbing Permit	
1	Com Remodel Bldg Permit	\$1,500.00
1	Com Roofing Permit	\$475,000.00
10	Com Sign Permit	\$36,507.68
<b>Total Value of Building - Commercial &amp; Industrial:</b>		<b>10,350,442.68</b>

**Building - Residential**

<u>Count</u>	<u>Permit Type</u>	<u>Value</u>
5	Res Accessory Bldg Permit	\$80,563.00
4	Res Carport Permit	\$16,450.00
79	Res Driveway Permit	\$207,350.00
2	Res Fence Permit	\$6,500.00
18	Res General Electrical Permit	\$15,302.00
23	Res General Mechanical Permit	\$124,587.00
38	Res General Plumbing Permit	\$110,502.24
5	Res Multi-Fam Remodel Bldg Permit	\$5,500.00
2	Res New Const Electrical Permit	\$10,000.00
2	Res New Const Mechanical Permit	\$1.00
16	Res New Const Plumbing Permit	\$0.00
1	Res Retaining Wall Permit	\$15,000.00
45	Res Roofing Permit	\$673,115.00
3	Res Single-Fam New Const Bldg Permit	\$475,900.00
3	Res Single-Fam Remodel Building Permit	\$182,282.00
4	Res Storm Shelter Permit	\$18,000.00
3	Res Swimming Pool / Hot Tub Permit	\$94,299.00
1	zzRes House Moving (In) Permit	\$0.00
<b>Total Value of Building - Residential:</b>		<b>2,035,351.24</b>

**Grand Total: \$12,385,793.92**



100 N Midwest Boulevard - Midwest City, OK 73110

**Building Permits by Type - Issued 5/1/2026 to 5/31/2026**

**Building - Commercial & Industrial**

**Alteration of Man Home Or Const of Space**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/29/26	10301 SE 29TH ST, 618, MIDWEST CITY, OK, 73130	TeFawn Hail	B-26-1658	\$70,000.00
				<b>\$70,000.00</b>

**Cell Tower Modification Bldg Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/11/26	8730 SE 15TH ST, MIDWEST CITY, OK, 73110	Sterling Massey	B-26-1091	\$20,000.00
				<b>\$20,000.00</b>

**Com Addition Bldg Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/19/26	3301 SUNVALLEY DR, MIDWEST CITY, OK, 73110	Brian Farley - Larson Design Group	B-26-0849	\$8,400,000.00
				<b>\$8,400,000.00</b>

**Com Driveway Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/14/26	10505 SE 15TH ST, MIDWEST CITY, OK, 73130	Element Homes LLC	B-26-1541	\$1,000.00
5/14/26	10505 SE 15TH ST, MIDWEST CITY, OK, 73130	Element Homes LLC	B-26-1540	\$1,000.00
				<b>\$2,000.00</b>

**Com Fence Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/11/26	1168 N DOUGLAS BLVD, MIDWEST CITY, OK, 73130	Belle Vista Lawn Care Inc.	B-26-1242	\$0.00
5/11/26	1708 S AIR DEPOT BLVD, Midwest City, OK, 73110	Preferred Fence Solutions Inc	B-26-1338	\$128,572.00
				<b>\$128,572.00</b>

**Com General Electrical Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/5/26	600 ADAIR BLVD	Brandon Pitts	B-26-1044	
5/5/26	2801 DEL ARBOLE DR, MIDWEST CITY, OK, 73110	April Lee	B-26-1410	

**Com General Mechanical Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/18/26	1609 FELIX PL, MIDWEST CITY, OK, 73110	Carrie Scott	B-26-1300	\$878,240.00

5/19/26	121 S AIR DEPOT BLVD, MIDWEST CITY, OK, 73110	Marical, Chad	B-26-1522	\$14,225.00
5/26/26	9309 E RENO AVE, MIDWEST CITY, OK, 73130	Steven S Belvin	B-26-1637	

**\$892,465.00**

**Com General Plumbing Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/4/26	8143 E RENO AVE, MIDWEST CITY, OK, 73110	MULLIN PLUMBING	B-26-1379	\$0.00
5/5/26	9125 SE 15TH ST, 73130	Adam Attaoui	B-26-1202	\$800.00
5/14/26	200 N MIDWEST BLVD, Midwest City, OK, 73110	MARIAN BENDER	B-26-1542	\$3,498.00
5/14/26	9521 NE 10TH ST, MIDWEST CITY, OK	Christopher Powell	B-26-1533	\$100.00
5/19/26	200 N MIDWEST BLVD, Midwest City, OK, 73110	MARIAN BENDER	B-26-1587	
5/21/26	1120 S POST RD	J BENTLEY CONSTRUCTION LLC	B-26-1619	\$0.00

**\$4,398.00**

**Com New Certificate of Occupancy**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/13/26	1338 S DOUGLAS BLVD, MIDWEST CITY, OK, 73130	Tanner Hayes	B-26-0738	\$320,000.00
5/26/26	721 S AIR DEPOT BLVD, MIDWEST CITY, OK, 73110	Tasha Wynn	B-26-0945	

**\$320,000.00**

**Com New Const Electrical Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/5/26	9309 SE 29TH ST, MIDWEST CITY, OK, 73130	Matt Backus	B-26-0997	
5/7/26	9309 SE 29TH ST, MIDWEST CITY, OK, 73130	Matt Backus	B-26-1434	
5/11/26	8913 NE 10TH ST, MIDWEST CITY, OK, 73110	Abayomi Reid	B-26-1436	
5/20/26	2816 PARKLAWN DR	Cory Stephans	B-26-1601	\$0.00
5/28/26	9309 SE 29TH ST, MIDWEST CITY, OK, 73130	Matt Backus	B-26-0998	

**\$0.00**

**Com New Const Mechanical Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/19/26	137 W RIDGEWOOD DR, MIDWEST CITY, OK, 73110	Tankco MEP	B-26-0622	

**Com New Const Plumbing Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/11/26	1621 MAPLE DR, MIDWEST CITY, OK, 73110	Austin Stacy	B-26-1412	
5/26/26	137 W RIDGEWOOD DR, MIDWEST CITY, OK, 73110	Alex Carrol	B-26-0843	

**Com Remodel Bldg Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/7/26	7901 NE 10TH ST A208-209 MIDWEST CITY, OK. 73110	CHERYL JACKSON	B-26-1007	\$1,500.00

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**\$1,500.00**

**Com Roofing Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/28/26	7546 SE 15TH ST, MIDWEST CITY, OK, 73110	Trademark Exteriors Restoration	B-26-1648	\$475,000.00

**\$475,000.00**

**Com Sign Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/11/26	1001 S DOUGLAS BLVD, MIDWEST CITY, OK, 73130	Becky Keupen	B-26-1243	\$6,850.00
5/11/26	6807 SE 15TH ST, MIDWEST CITY, OK, 73110	Robel Arreaga	B-26-1349	\$3,386.88
5/11/26	6807 SE 15TH ST, MIDWEST CITY, OK, 73110	Robel Arreaga	B-26-1348	\$1,570.80
5/20/26	1805 S AIR DEPOT BLVD, MIDWEST CITY, OK, 73110	Kenny Syers	B-26-1526	\$0.00
5/28/26	2908 N GLENHAVEN DR, MIDWEST CITY, OK, 73110	Hope Garcia	B-26-1538	\$0.00
5/28/26	1716 S SOONER RD, MIDWEST CITY, OK, 73110	JON JENKINS	B-26-1624	\$15,000.00
5/28/26	1716 S SOONER RD, MIDWEST CITY, OK, 73110	JON JENKINS	B-26-1583	\$3,500.00
5/28/26	1716 S SOONER RD, MIDWEST CITY, OK, 73110	JON JENKINS	B-26-1585	\$4,000.00
5/28/26	1716 S SOONER RD, MIDWEST CITY, OK, 73110	JON JENKINS	B-26-1586	\$2,200.00
5/28/26	1716 S SOONER RD, Midwest City, OK, 73110	JON JENKINS	B-26-1582	\$0.00

**\$36,507.68**

**Building - Residential**

**Res Accessory Bldg Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/1/26	10900 BELLVIEW DR, MIDWEST CITY, OK, 73130	Fredrich Maggard	B-26-0699	\$40,000.00
5/5/26	2711 TURTLE WAY, MIDWEST CITY, OK, 73130	Gary Dick	B-26-1288	\$4,000.00
5/6/26	543 N WESTMINSTER RD, MIDWEST CITY, OK, 73130	Chris L White	B-26-0692	\$25,000.00
5/21/26	3612 OAK GROVE, MIDWEST CITY, OK, 73110	Tuff Shed	B-26-1329	\$6,000.00
5/27/26	1109 OAK HILL DR, OK, MIDWEST CITY, 73110	Tuff Shed Inc.	B-26-1604	\$5,563.00

**\$80,563.00**

**Res Carport Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/7/26	9705 RHYTHM RD, MIDWEST CITY, OK, 73130	GUSTAVO DIAZ	B-26-1370	\$4,500.00
5/18/26	9408 RHYTHM RD, MIDWEST CITY, OK, 73130	Savannah Spates	B-26-1321	\$2,200.00
5/26/26	504 DRAPER DR, MIDWEST CITY, OK, 73110	Roger Ring	B-26-1556	\$5,950.00
5/28/26	9420 PEAR ST, MIDWEST CITY, OK, 73130	Anthony Anderson	B-26-1647	\$3,800.00

**\$16,450.00**

**Res Driveway Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/5/26	1139 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1400	\$2,000.00
5/5/26	1135 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1401	\$2,000.00
5/5/26	1111 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1408	\$2,000.00
5/5/26	1131 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1402	\$2,000.00
5/5/26	1127 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1403	\$2,000.00
5/5/26	1123 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1404	\$2,000.00
5/5/26	1119 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1405	\$2,000.00
5/5/26	1115 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1406	\$2,000.00
5/6/26	10023 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1416	\$2,000.00
5/6/26	10027 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1417	\$2,000.00
5/6/26	10031 SPRUCE LN, MIDWEST CITY, OK, 73130	J BENTLEY CONSTRUCTION LLC	B-26-1418	\$2,000.00
5/6/26	10035 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1419	\$2,000.00
5/6/26	10039 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1420	\$2,000.00
5/6/26	10024 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1421	\$2,000.00
5/6/26	10028 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction	B-26-1422	\$2,000.00
5/6/26	10032 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction	B-26-1423	\$2,000.00
5/6/26	10036 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1424	\$2,000.00
5/6/26	10040 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1425	\$2,000.00
5/7/26	280 WINDSOR WAY, MIDWEST CITY, OK, 73110	Marco melendez	B-26-1431	\$10,000.00
5/7/26	10005 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Inc	B-26-1437	\$2,000.00
5/7/26	10009 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1438	\$2,000.00
5/7/26	10013 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1439	\$2,000.00
5/7/26	10017 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1440	\$2,000.00
5/7/26	10021 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1441	\$2,000.00
5/7/26	10025 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1442	\$2,000.00
5/7/26	10029 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1443	\$2,000.00
5/7/26	10033 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1444	\$2,000.00
5/7/26	10037 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1445	\$2,000.00
5/7/26	10041 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1446	\$2,000.00
5/7/26	10045 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1447	\$2,000.00

5/7/26	10049 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1448	\$2,000.00
5/7/26	10053 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Inc	B-26-1449	\$2,000.00
5/7/26	10065 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1452	\$2,000.00
5/7/26	10057 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1450	\$2,000.00
5/7/26	10061 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction	B-26-1451	\$2,000.00
5/8/26	1983 LESLIE BEACHLER LN, MIDWEST CITY, OK, 73130	Adriana Martinez Macias	B-26-1432	\$7,000.00
5/13/26	10044 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1477	\$2,000.00
5/13/26	10048 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1478	\$2,000.00
5/13/26	10052 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1479	\$2,000.00
5/13/26	10056 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1480	\$2,000.00
5/13/26	10060 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1481	\$2,000.00
5/13/26	10064 FIR TER, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1482	\$2,000.00
5/13/26	10043 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction	B-26-1483	\$2,000.00
5/13/26	10047 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1484	\$2,000.00
5/13/26	10051 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1485	\$2,000.00
5/13/26	10055 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1486	\$2,000.00
5/13/26	10059 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1487	\$2,000.00
5/13/26	10063 SPRUCE LN, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1488	\$2,000.00
5/13/26	1224 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1490	\$2,000.00
5/13/26	1220 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1491	\$2,000.00
5/13/26	1216 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1492	\$2,000.00
5/13/26	1212 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1493	\$2,000.00
5/13/26	1208 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1494	\$2,000.00
5/13/26	1227 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1495	\$2,000.00
5/13/26	1223 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1496	\$2,000.00
5/13/26	1219 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1497	\$2,000.00
5/13/26	1215 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1498	\$2,000.00
5/13/26	1211 CYPRESS WAY, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1499	\$2,000.00
5/13/26	1062 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1500	\$2,000.00
5/13/26	1058 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1501	\$2,000.00
5/14/26	1050 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1503	\$2,000.00

5/14/26	1054 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1502	\$2,000.00
5/14/26	1046 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1504	\$2,000.00
5/14/26	1042 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1505	\$2,000.00
5/14/26	1038 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1506	\$2,000.00
5/14/26	1034 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1507	\$2,000.00
5/14/26	1030 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1508	\$2,000.00
5/14/26	1026 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1509	\$2,000.00
5/14/26	1022 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1510	\$2,000.00
5/14/26	1018 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1511	\$2,000.00
5/14/26	1014 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1512	\$2,000.00
5/14/26	1010 YAUPON DR, MIDWEST CITY, OK, 73130	J Bentley Construction LLC	B-26-1513	\$2,000.00
5/14/26	9121 OAKWOOD DR, MIDWEST CITY, OK, 73130	Samuel Crabtree	B-26-1165	\$7,500.00
5/18/26	2545 TURTLE WAY, MIDWEST CITY, OK, 73130	Junior Avila	B-26-1576	\$1,050.00
5/19/26	604 S TIMBER LN, MIDWEST CITY, OK, 73130	Jason Tennyson	B-26-1551	\$0.00
5/27/26	8720 NE 16TH ST, MIDWEST CITY, OK, 73110	DreamStyle Homes INC	B-26-1661	\$4,000.00
5/28/26	9712 BETH DR, MIDWEST CITY, OK, 73130	gustavo diaz	B-26-1669	\$12,800.00
5/28/26	2890 TREIGHT CREEK LN, Midwest City, OK, 73110	Marco melendez	B-26-1691	\$10,000.00
5/28/26	732 GLENMANOR DR, MIDWEST CITY, OK, 73110	Marco melendez	B-26-1638	\$15,000.00
				<b>\$207,350.00</b>

#### Res Fence Permit

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/12/26	2890 TREIGHT CREEK LN, Midwest City, OK, 73110	Archie Huston - Element Homes	B-26-1411	\$2,000.00
5/14/26	6500 NE 23RD ST, Midwest City, OK, 73141	Samuel Hernandez	B-26-1520	\$4,500.00
				<b>\$6,500.00</b>

#### Res General Electrical Permit

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/4/26	800 STAHL DR, MIDWEST CITY, OK, 73110	Dillon Laden	B-26-1367	
5/6/26	836 E TOWRY DR, MIDWEST CITY, OK, 73110	INSIGHT ELECTRIC LLC - BRIAN TALLEY	B-26-1387	
5/11/26	302 LOTUS AVE, MIDWEST CITY, OK, 73130	BRAD MORGAN	B-26-1378	\$3,000.00
5/11/26	608 FRIENDLY RD, MIDWEST CITY, OK, 73130	Kailey John	B-26-1373	\$8,000.00
5/12/26	13166 RED OAK DR, MIDWEST CITY, OK, 73020	WENDY	B-26-1363	
5/13/26	813 W IDYLVILD DR, MIDWEST CITY, OK, 73110	Kaitlyn Waddell	B-26-1471	
5/13/26	1816 MICHELL DR, OK, MIDWEST CITY, 73141	Miguel Aldaco	B-26-1527	\$1,800.00

5/13/26	910 OAKVIEW DR, LOT 15 Midwest City, OK, 73110	John Wayne Grove	B-26-1514	\$1.00
5/13/26	203 GAYLE DR, MIDWEST CITY, OK, 73130	John Wayne Grove	B-26-1515	\$1.00
5/14/26	3604 MEADOWBROOK DR, MIDWEST CITY, OK, 73110	Billy Coy	B-26-1547	
5/14/26	6224 SE 11TH ST, MIDWEST CITY, OK, 73110	towma edwards	B-26-1543	
5/20/26	9121 OAKWOOD DR, MIDWEST CITY, OK, 73130	Chris Wagner	B-26-1571	\$2,500.00
5/22/26	517 N KEY BLVD, MIDWEST CITY, OK, 73110	ryan mcurdy	B-26-1622	
5/22/26	10301 SE 29TH ST, 610, MIDWEST CITY, OK, 73130	David Krag	B-26-1374	
5/22/26	10301 SE 29TH ST, 429, MIDWEST CITY, OK, 73130	David Krag	B-26-1375	
5/26/26	3209 HILLTOP RD, MIDWEST CITY, OK, 73110	Warren Barnett	B-26-1567	
5/27/26	3104 N IDYLWILD DR, MIDWEST CITY, OK, 73110	Kylie Grimes	B-26-1643	
5/27/26	301 CHAR LN, MIDWEST CITY, OK, 73110	Kylie Grimes	B-26-1640	

**\$15,302.00**

**Res General Mechanical Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/11/26	813 JUNIPER AVE, MIDWEST CITY, OK, 73130	Trenton Brown	B-26-1476	
5/11/26	1701 SONGBIRD LN, MIDWEST CITY, OK, 73130	Justin Martin	B-26-1398	\$14,000.00
5/13/26	265 CAMBRIDGE DR, MIDWEST CITY, OK, 73110	EMILIO GRANJA	B-26-1523	\$7,500.00
5/14/26	9700 NE 3RD PL, MIDWEST CITY, OK, 73130	Airco Service	B-26-1470	\$10,800.00
5/18/26	836 E TOWRY DR, Midwest City, OK, 73110	CHRISTOPHER HULL	B-26-1555	
5/20/26	6112 SE 3RD ST, MIDWEST CITY, OK, 73110	Wiggy, Scott	B-26-1617	\$8,200.00
5/21/26	124 BRADFORD PL, MIDWEST CITY, OK, 73130	Martin Castillo	B-26-1519	\$9,000.00
5/21/26	316 S POST RD, MIDWEST CITY, OK, 73130	Christopher Hunter	B-26-1336	\$15,500.00
5/21/26	2305 N TOWRY DR, MIDWEST CITY, OK, 73110	Justin Martin	B-26-1518	\$9,000.00
5/22/26	1821 MURRAY DR, MIDWEST CITY, OK, 73110	Layton Moore	B-26-1597	\$12,000.00
5/26/26	700 GREENWOOD DR, MIDWEST CITY, OK, 73110	Brian Porch	B-26-1626	\$21,762.00
5/26/26	704 STAHL DR, Midwest City, OK, 73110	Lisa Nungester	B-26-1599	\$11,900.00
5/26/26	8401 COTTAGE PARK DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1605	
5/26/26	8403 COTTAGE PARK DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1606	\$0.00
5/26/26	1201 STONECROP DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1607	\$0.00
5/26/26	1203 STONECROP DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1608	
5/26/26	1204 STONECROP DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1609	\$0.00
5/26/26	1205 STONECROP DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1610	\$0.00

5/26/26	1206 STONECROP DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1611	\$0.00
5/26/26	1207 STONECROP DR, MIDWEST CITY, OK, 73110	Erik Barron	B-26-1612	\$0.00
5/26/26	10358 ST PATRICK DR, MIDWEST CITY, OK, 73130	PASCHAL HOME SERVICES	B-26-1468	\$4,925.00
5/26/26	3104 N IDYLWILD DR, MIDWEST CITY, OK, 73110	Kylie Grimes	B-26-1616	
5/27/26	1045 CHOCTAW RIDGE RD, MIDWEST CITY, OK, 73130	Kylie Grimes	B-26-1641	

**\$124,587.00**

**Res General Plumbing Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/4/26	317 W MIMOSA DR, Midwest City, OK, 73110	Adam Attaoui	B-26-1361	
5/4/26	800 HAROLD DR, MIDWEST CITY, OK, 73110	Vintage Plumbing	B-26-1368	\$2,865.00
5/4/26	135 W LILAC LN, MIDWEST CITY, OK, 73110	Gabriel Griffith	B-26-1386	\$0.00
5/5/26	3400 MEADOWBROOK DR, MIDWEST CITY, OK, 73110	Jennifer Kipp	B-26-1359	\$500.00
5/5/26	1817 MEADOWLARK LN, MIDWEST CITY, OK, 73130	Bridgette m Curtis	B-26-1350	\$8,200.00
5/5/26	628 E THORNTON DR, MIDWEST CITY, OK, 73110	Jennifer Kipp	B-26-1396	\$500.00
5/6/26	11638 MARK ST, MIDWEST CITY, OK, 73130	Beth Chapman	B-26-1397	\$10,455.00
5/6/26	705 BRIARWOOD DR, MIDWEST CITY, OK, 73130	Beth Chapman	B-26-1409	\$12,356.46
5/6/26	11615 TYSON CT, MIDWEST CITY, OK, 73130	Beth Chapman	B-26-1407	\$4,323.77
5/7/26	10905 GARRETT COLE DR, MIDWEST CITY, OK, 73130	MARIAN BENDER	B-26-1433	\$2,830.00
5/12/26	13166 RED OAK DR, MIDWEST CITY, OK, 73020	WENDT	B-26-1364	
5/13/26	3402 MOCKINGBIRD LN, MIDWEST CITY, OK, 73110	Bridgette m Curtis	B-26-1528	\$8,500.25
5/13/26	207 W ERCOUPE DR	Samuel Preston Miley	B-26-1531	\$0.00
5/13/26	10824 TUMILTY AVE, MIDWEST CITY, OK, 73130	Virgil Hedrick	B-26-1474	\$0.00
5/14/26	10301 SE 29TH ST, 610 MIDWEST CITY, OK, 73130	STANLEY PLUMBING SERVICES LLC	B-26-1536	\$0.00
5/14/26	10301 SE 29TH ST, 429 MIDWEST CITY, OK, 73130	STANLEY PLUMBING SERVICES LLC	B-26-1537	\$0.00
5/14/26	4406 N SHADYBROOK DR, MIDWEST CITY, OK, 73110	Airco Service	B-26-1532	\$2,950.00
5/14/26	10801 NE 10TH ST, Midwest City, OK, 73130	christopher sissons	B-26-1548	
5/15/26	265 CAMBRIDGE DR, MIDWEST CITY, OK, 73110	Jacob Morgan	B-26-1544	\$8,400.00
5/18/26	5800 SE 3RD ST, MIDWEST CITY, OK, 73110	Jennifer Kipp	B-26-1561	\$500.00
5/18/26	6224 SE 11TH ST, Midwest City, OK, 73110	Matthew Davidson	B-26-1554	
5/19/26	8806 NE 2ND ST, MIDWEST CITY, OK, 73110	Danny Loyd	B-26-1593	
5/19/26	9209 STONE GATE, MIDWEST CITY, OK, 73130	Beth Chapman	B-26-1580	\$4,749.62
5/19/26	3501 OAK GROVE, MIDWEST CITY, OK, 73110	Jerry shaver	B-26-1600	

5/19/26	1613 N POST RD, MIDWEST CITY, OK, 73130	Jason Kostic	B-26-1462	\$0.00
5/20/26	213 W ERCOUCPE DR, OK, MIDWEST CITY, 73110	Beth Chapman	B-26-1594	\$3,180.08
5/20/26	2804 WOODCREEK, MIDWEST CITY, OK, 73110	Bailey D	B-26-1557	\$800.00
5/21/26	316 S POST RD, MIDWEST CITY, OK, 73130	MArtin Castillo	B-26-1335	\$4,500.00
5/21/26	1205 SPENCER RD, MIDWEST CITY, OK, 73110	Martin Castillo	B-26-1346	\$4,900.00
5/21/26	10342 BELLVIEW DR, MIDWEST CITY, OK, 73130	Bridgette m Curtis	B-26-1570	\$15,000.00
5/22/26	800 STAHL DR, MIDWEST CITY, OK, 73110	BRIAN TWITTY	B-26-1620	\$800.00
5/22/26	9404 ORCHARD BLVD, Midwest City, OK, 73130	Dale Eads	B-26-1592	\$2,000.00
5/26/26	1127 N DOUGLAS BLVD, MIDWEST CITY, OK, 73130	Beth Chapman	B-26-1636	\$2,750.00
5/26/26	1612 DORCHESTER RD, OK, MIDWEST CITY, 73130	Beth Chapman	B-26-1652	\$2,560.80
5/26/26	4001 DOGWOOD DR, Midwest City, OK, 73110	John Burdin	B-26-1545	\$1,500.00
5/27/26	378 CANTERBURY RD, MIDWEST CITY, OK, 73130	Beth Chapman	B-26-1653	\$5,381.26
5/28/26	8401 COTTAGE PARK DR, MIDWEST CITY, OK, 73110	Colter R Nolan	B-26-1666	\$0.00
5/28/26	8403 COTTAGE PARK DR, MIDWEST CITY, OK, 73110	Colter R Nolan	B-26-1667	\$0.00

**\$110,502.24**

**Res Multi-Fam Remodel Bldg Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/11/26	1168 N DOUGLAS BLVD, 513, MIDWEST CITY, OK, 73130	Alberto Gandara	B-26-1254	\$700.00
5/11/26	1168 N DOUGLAS BLVD, 313, MIDWEST CITY, OK, 73130	Alberto Gandara	B-26-1251	\$2,500.00
5/11/26	1168 N DOUGLAS BLVD, 509, MIDWEST CITY, OK, 73130	Alberto Gandara	B-26-1252	\$400.00
5/11/26	1168 N DOUGLAS BLVD, 511, MIDWEST CITY, OK, 73130	Alberto Gandara	B-26-1253	\$400.00
5/11/26	1168 N DOUGLAS BLVD, 701, MIDWEST CITY, OK, 73130	Alberto Gandara	B-26-1255	\$1,500.00

**\$5,500.00**

**Res New Const Electrical Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/26/26	806 Stansell	Nic Amanis	B-26-1618	\$0.00
5/27/26	12510 FOREST TERR, MIDWEST CITY, OK, 73020	Jennifer Dick	B-26-1660	\$10,000.00

**\$10,000.00**

**Res New Const Mechanical Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/13/26	10240 NE 7TH ST, Midwest City, OK, 73130	Randy Lamb	B-26-1530	
5/18/26	2780 HAND RD, MIDWEST CITY, OK, 73130	A-Better Heating & Air Conditioning	B-26-1376	\$1.00

**\$1.00**

**Res New Const Plumbing Permit**

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
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5/6/26	1034 YAUPON DR	Donald Mohmed	B-26-1388
5/6/26	1038 YAUPON DR	Donald Mohmed	B-26-1389
5/6/26	1042 YAUPON DR	Donald Mohmed	B-26-1390
5/6/26	1046 YAUPON DR	Donald Mohmed	B-26-1391
5/6/26	1050 YAUPON DR	Donald Mohmed	B-26-1392
5/6/26	1054 YAUPON DR	Donald Mohmed	B-26-1393
5/6/26	1058 YAUPON DR	Donald Mohmed	B-26-1394
5/6/26	1062 YAUPON DR	Donald Mohmed	B-26-1395
5/12/26	540 ATKINSON DR, MIDWEST CITY, OK, 73110	Jerrod Dodd	B-26-1467
5/22/26	1100 N RED BUD DR, MIDWEST CITY, OK, 73110	Dustin Perkey	B-26-1623
5/27/26	1211 CYPRESS WAY, MIDWEST CITY, OK, 73130	Donald Mohmed	B-26-1584
5/27/26	1215 CYPRESS WAY, MIDWEST CITY, OK, 73130	Donald Mohmed	B-26-1588
5/27/26	1219 CYPRESS WAY, MIDWEST CITY, OK, 73130	Donald Mohmed	B-26-1589
5/27/26	1223 CYPRESS WAY, MIDWEST CITY, OK, 73130	Donald Mohmed	B-26-1590
5/27/26	1227 CYPRESS WAY, MIDWEST CITY, OK, 73130	Donald Mohmed	B-26-1591

#### Res Retaining Wall Permit

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/29/26	11549 BERKSHIRE CT, MIDWEST CITY, OK, 73130	Jay Barron	B-26-1680	\$15,000.00
				<b>\$15,000.00</b>

#### Res Roofing Permit

<u>Issued</u>	<u>Location</u>	<u>Applicant</u>	<u>Case #</u>	<u>Value</u>
5/1/26	10900 WINDMILL FARMS RD, MIDWEST CITY, OK, 73130	Harrison Stafford	B-26-1362	\$14,200.00
5/4/26	2605 N KEY BLVD, MIDWEST CITY, OK, 73110	Taylor Contreras	B-26-1371	\$32,000.00
5/4/26	223 E JACOBS DR	Peggy Pate	B-26-1372	\$14,000.00
5/4/26	9117 ORCHARD BLVD, MIDWEST CITY, OK, 73130	Mike Hledik	B-26-1377	\$22,000.00
5/4/26	140 OAKTREE LN, MIDWEST CITY, OK, 73130	Parker Brothers Construction and Roofing inc.	B-26-1380	\$17,200.00
5/4/26	3108 DEL REY DR, MIDWEST CITY, OK, 73110	Parker Brothers Construction and Roofing inc.	B-26-1381	\$16,800.00
5/4/26	1016 W PEEBLY DR, MIDWEST CITY, OK, 73110	Peggy Pate	B-26-1383	\$10,000.00
5/5/26	10217 SE 15TH ST, MIDWEST CITY, OK, 73130	adrian zuniga	B-26-1366	\$27,000.00
5/5/26	2312 N KEY BLVD, MIDWEST CITY, OK, 73110	Cassie Shannon	B-26-1385	\$17,700.00
5/6/26	1113 OAK HILL DR, MIDWEST CITY, OK, 73110	Vicki McHughes	B-26-1358	\$14,379.00
5/6/26	3412 N GLENOAKS DR, MIDWEST CITY, OK, 73110	Robert Maupin Or Felicita Bradshaw	B-26-1415	\$14,000.00
5/7/26	204 DAVIS CIR, MIDWEST CITY, OK, 73110	Laura Jenkins	B-26-0909	\$8,400.00
5/7/26	1390 S DOUGLAS BLVD, MIDWEST CITY, OK, 73130	Charles Tartaglione	B-26-1221	\$0.00
5/7/26	806 STANSELL DR, MIDWEST CITY, OK, 73110	Travis R Helling	B-26-1360	\$20,000.00
5/8/26	3709 SHADYBROOK DR, MIDWEST CITY, OK, 73110	Parker Brothers Construction and Roofing inc.	B-26-1455	\$24,800.00

5/8/26	3705 SHADYBROOK DR, MIDWEST CITY, OK, 73110	Parker Brothers Construction and Roofing inc.	B-26-1456	\$14,179.00
5/8/26	1924 SYMPHONY LN, MIDWEST CITY, OK, 73130	Parker Brothers Construction and Roofing inc.	B-26-1457	\$7,800.00
5/11/26	625 E JONES PL, MIDWEST CITY, OK, 73110	Trademark Exteriors Restoration	B-26-1429	\$0.00
5/11/26	10452 CATTAIL TER, MIDWEST CITY, OK, 73130	Trademark Exteriors Restoration	B-26-1460	\$13,200.00
5/11/26	406 WINDSOR RD, MIDWEST CITY, OK, 73130	Trademark Exteriors Restoration	B-26-1472	\$18,800.00
5/11/26	1638 EMBER LN, MIDWEST CITY, OK, 73130	Kenny Pursell	B-26-1469	\$12,000.00
5/12/26	12413 HASTINGS RD, MIDWEST CITY, OK, 73130	Teresa Lehman	B-26-1473	\$30,000.00
5/12/26	1033 BIG OAK DR, MIDWEST CITY, OK, 73110	Tristan Ullstrom	B-26-1516	\$24,800.00
5/12/26	902 CYPRESS CV, MIDWEST CITY, OK, 73110	Eddie Myers	B-26-1430	\$11,000.00
5/12/26	808 LOTUS AVE, MIDWEST CITY, OK, 73130	Jason Armstrong	B-26-1466	\$8,959.00
5/12/26	1417 MCDONALD DR, MIDWEST CITY, OK, 73130	Eric Anderson	B-26-1524	\$9,000.00
5/13/26	3312 N RIDGEWOOD DR, MIDWEST CITY, OK, 73110	Doug Urie	B-26-1534	\$10,000.00
5/14/26	10919 SARA CT, MIDWEST CITY, OK, 73130	OKC Roofers	B-26-1546	\$31,000.00
5/14/26	708 E FROLICH DR, MIDWEST CITY, OK, 73110	Ramon De La Cruz	B-26-1552	\$12,000.00
5/14/26	2403 CATTAIL CIR, MIDWEST CITY, OK, 73130	FRONTLINE EXTERIOR SOLUTIONS	B-26-1461	\$16,500.00
5/15/26	1201 MARYDALE AVE, MIDWEST CITY, OK, 73130	RUBEN CHAVEZ CAMACHO	B-26-1560	\$6,300.00
5/18/26	508 PEPPERTREE LN, Midwest City, OK, 73110	eclipse roofing	B-26-1566	\$0.00
5/18/26	510 PEPPERTREE LN	ECLIPSE ROOFING & CONSTRUCTION	B-26-1581	
5/18/26	2032 CAMELOT DR, MIDWEST CITY, OK, 73130	Parker Brothers Construction and Roofing inc.	B-26-1562	\$22,400.00
5/18/26	3616 N RIDGEWOOD DR, MIDWEST CITY, OK, 73110	Parker Brothers Construction and Roofing inc.	B-26-1563	\$17,712.00
5/18/26	107 W LILAC LN, MIDWEST CITY, OK, 73110	Parker Brothers Construction and Roofing inc.	B-26-1564	\$5,996.00
5/18/26	829 LEISURE DR, MIDWEST CITY, OK, 73110	Parker Brothers Construction and Roofing inc.	B-26-1565	\$23,100.00
5/21/26	8815 FAIRFIELD GREENS DR, MIDWEST CITY, OK, 73110	Justin Bedwell	B-26-1621	\$16,971.00
5/22/26	400 BENT TREE DR, MIDWEST CITY, OK, 73130	Parker Brothers Construction and Roofing inc.	B-26-1634	\$13,500.00
5/22/26	11620 ZANDRA AVE, MIDWEST CITY, OK, 73130	Parker Brothers Construction and Roofing inc.	B-26-1635	\$27,589.00
5/26/26	3648 SUNVALLEY DR, MIDWEST CITY, OK, 73110	Eric Shoemaker	B-26-1649	\$19,000.00
5/26/26	1708 PENNINGTON CIR, MIDWEST CITY, OK, 73130	Ryan Carmichael	B-26-1559	\$18,830.00
5/27/26	10513 SE 25TH ST, MIDWEST CITY, OK, 73130	Dustin Hart	B-26-1572	\$14,000.00
5/27/26	1905 FLANNERY DR, MIDWEST CITY, OK, 73110	OKC Roofers	B-26-1627	\$16,000.00
5/27/26	11604 SURREY LN, MIDWEST CITY, OK, 73130	Hollie DeYoung	B-26-1657	\$0.00

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**\$673,115.00**





100 N Midwest Boulevard - Midwest City, OK 73110

**Inspections Summary - Inspected 5/1/2026 to 5/31/2026**

<u>Inspection Description</u>	<u>Count</u>
Accessory Bldg Inspection	1
Building/Electrical General Inspection	2
Buildings - CO Inspection & Sign Off	1
Com Building Final Inspection	5
Com Driveway Inspection	1
Com Duct Smoke Detector Retest/Reinspection (Building)	1
Com Duct Smoke Detector Retest/Reinspection (Fire Marsh	1
Com Duct Smoke Detector Test/Inspection (Building)	1
Com Duct Smoke Detector Test/Inspection (Fire Marshal)	1
Com Electrical Ceiling Inspection	4
Com Electrical Final Inspection	7
Com Electrical Final Reinspection	1
Com Electrical Ground Inspection	2
Com Electrical Rough-in Inspection	4
Com Electrical Service Inspection	9
Com Fire Alarm Final Inspection	1
Com Fire Sprinkler Final Inspection	1
Com Fire Sprinkler Rough Inspection	14
Com Footing & Building Setback Inspection	3
Com Framing Inspection	3
Com Gas Piping Inspection	2
Com Gas Piping Reinspection	1
Com Grease Trap Rough Inspection (Building)	2
Com Grease Trap Rough Inspection (Line Maintenance)	3
Com Mechanical Ceiling Inspection	2
Com Mechanical Ceiling Reinspection	1
Com Mechanical Final Inspection	1
Com Mechanical Rough-in Inspection	3
Com Plumbing Final Inspection	1
Com Plumbing Ground Inspection	3
Com Plumbing Rough-in Inspection	3
Com Roofing Inspection	1
Com Sewer Service Inspection	3
Com Temporary Electrical Pole Inspection	1
Commercial Meter Tap Reinspection	1
Electrical Generator Inspection	1
Engineering Site Inspection (1-2 Residential)	2
Engineering Site Inspection (Residential)	1
Engineering Site Reinspection (Commercial)	3
Fire - CO Inspection & Sign Off	7
Fire - CO Reinspection & Sign Off	1
Hot Water Tank Inspection	15
Hot Water Tank Reinspection	3
Hydro Test Above (Fire)	10
Mechanical Change Out Inspection	21

Mechanical Change Out Reinspection	4
Placard Issued	2
Planning - CO Inspection & Sign Off	3
Plumbing/Mechanical General Inspection	2
Pre-Con Site Inspection/Meeting	6
Res Building Final Inspection	2
Res Drainage1 Inspection	2
Res Drainage2 Inspection	2
Res Driveway Inspection	29
Res Driveway Reinspection	1
Res Electrical Final Inspection	10
Res Electrical Final Reinspection	5
Res Electrical Pool Bonding Inspection	1
Res Electrical Rough-in Inspection	10
Res Electrical Rough-in Reinspection	3
Res Electrical Service Inspection	20
Res Electrical Service Reinspection	3
Res Fence Inspection	1
Res Footing & Building Setback Inspection	8
Res Framing Inspection	11
Res Framing Reinspection	1
Res Gas Meter Inspection	2
Res Gas Piping Inspection	8
Res Gas Piping Reinspection	2
Res Insulation Inspection	30
Res Mechanical Final Inspection	11
Res Mechanical Final Reinspection	1
Res Mechanical Rough-in Inspection	2
Res Mechanical Rough-in Reinspection	3
Res Plumbing Final Inspection	18
Res Plumbing Final Reinspection	5
Res Plumbing Ground Inspection	11
Res Plumbing Ground Reinspection	2
Res Plumbing Rough-in Inspection	21
Res Plumbing Rough-in Reinspection	3
Res Roofing Inspection	14
Res Roofing Reinspection	4
Res Sewer Service Inspection	19
Res Sewer Service Reinspection	3
Res Storm Shelter Inspection	5
Res Storm Shelter Reinspection	1
Res Temporary Electrical Pole Inspection	1
Res Termite Inspection	4
Res Water Service Line Inspection	13
Res Water Service Line Reinspection	2
Residential Meter Tap Inspection	39
Residential Meter Tap Reinspection	1
Stormwater Site Inspection (Residential)	1
Utilities - CO Inspection & Sign Off	6
Utilities - CO Reinspection & Sign Off	2
Utilities Site Inspection (Residential)	3
Utilities Site Reinspection (Residential)	4
<hr/>	
Total Number of Inspections:	522

# MINUTES OF MIDWEST CITY PLANNING COMMISSION MEETING

**DATE May 5, 2026 - 5:00 p.m.**

This regular meeting of the Midwest City Planning Commission was held in the City Council Chambers, 100 North Midwest Boulevard, Midwest City, Oklahoma County, Oklahoma, on May 5, 2026, at 5:00 p.m., with the following members present:

Commissioners present:     Jim Smith  
                                      Marcus Hayes  
                                      Rick Dawkins  
                                      Jess Huskey *Vice Chair*

Commissioners absent:     JD Collins

Staff present:               Matthew Summers, Community Development Director  
                                      Julie Shannon, Planner III  
                                      Zamya Darthard, Planner II  
                                      Brylee Hester, Planner I  
                                      Don Maisch, City Attorney  
                                      Robert Coleman, Economic Development Director  
                                      Patrick Menefee, Capital Projects Engineer

## **A. CALL TO ORDER**

The meeting was called to order by Vice Chairperson Jess Huskey at 5:00 p.m.

## **B. DISCUSSION**

1. Discussion and consideration of adoption, including any possible amendments of the minutes of the April 7, 2026, Planning Commission Meeting.

A motion was made by Dawkins, seconded by Smith, to approve the minutes of the April 7, 2026, Planning Commission meeting as presented.

Voting Aye: Dawkins, Smith, Hayes, and Huskey.

Nay: none.

Motion carried.

2. (PC-2245) Public hearing, discussion, consideration, and possible action for a Special Use Permit to allow (*Eating Establishments: Sit-Down, Alcoholic Beverages Permitted*) in the C-3, Community Commercial District for the property located at 433 Planet Court, Midwest City, Oklahoma 73110.

Planner, Zamya Darthard, presented the item. The applicant's representative, Stephanie Floyd, was present and addressed the Commission. The Commissioners had no further questions for staff or the applicant. There were no public comments on this item.

A motion was made by Dawkins, seconded by Smith, to recommend approval of this item subject to all staff comments.

Voting Aye: Dawkins, Smith, Hayes, and Huskey.  
Nay: none.  
Motion carried.

3. (PC-2247) Public hearing, discussion, consideration, and possible action on an ordinance to redistrict from Planned Unit Development (“PUD”) to Amended Planned Unit Development (“PUD”) for the property described as all of Lots 4, 5, and 6 of Soldier Creek Industrial Park, located in Midwest City, Oklahoma County, Oklahoma.

Planner, Zamy Darthard, presented the item. The applicant’s representative, Robert Coleman-Economic Development Director, was present and addressed the Commissioners. The Commissioners had no further questions for staff or the applicant. There was no public discussion on this item.

A motion was made by Dawkins to recommend approval of the item subject to all staff comments, seconded by Smith.

Voting Aye: Dawkins, Smith, Hayes, and Huskey.  
Nay: none.  
Motion carried.

4. (MP-32) Public hearing, discussion, consideration, and possible action to approve a Minor Plat for the property located at 1213 N Pine St., Midwest City, Oklahoma County, Oklahoma 73130.

Planner, Zamy Darthard, presented the item. The applicant and property owner, Moiseis Pineda, addressed the Commissioners and had no objections or questions regarding the staff report. The Commissioners had no further questions for staff or the applicant. There were no public comments on this item.

A motion was made by Dawkins to recommend approval of the item subject to all staff comments, seconded by Smith.

Voting Aye: Dawkins, Smith, Hayes, and Huskey.  
Nay: none.  
Motion carried.

5. Discussion and consideration of New Urbanism design principles and how they might be applied in Midwest City.

Community Development Director, Matt Summers, introduced the item. Mark Zitzow, representing Johnson & Associates, presented on New Urbanism design principles. There was general discussion amongst the Commissioners. No action was required on this item.

**C. NEW BUSINESS/PUBLIC DISCUSSION**

None.

**D. FURTHER INFORMATION**

None.

E. ADJOURNMENT

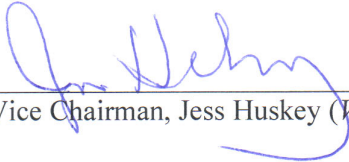
A motion to adjourn was made by Dawkins, seconded by Smith.

Voting Aye: Dawkins, Smith, Hayes, and Huskey

Nay: none.

Motion carried.

The meeting adjourned at 5:34 p.m.



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Vice Chairman, Jess Huskey (*Vice Chair*)

(bh)

**MINUTES OF MIDWEST CITY BOARD OF ADJUSTMENT REGULAR MEETING  
February 17, 2026 – 5:00 P.M.**

This regular meeting of the Midwest City Board of Adjustment was held in the City Council Chambers, 100 North Midwest Boulevard, Midwest City, Oklahoma County, Oklahoma, on February 17, 2026. The following members were present:

Present:                                Jess Huskey, Chair  
   Frank Young  
   Cy Valanejad  
   Charles McDade

Absent:                                    Tammy Cook

Staff present:                        Matt Summers – Community Development Director  
   Brylee Hester – Planner I  
   Zamy Darthard – Planner II

**A.     CALL TO ORDER:**

The meeting was called to order by Huskey at 5:00 P.M.

**B.     DISCUSSION ITEMS:**

1. A motion was made by Young, seconded by McDade, to approve the minutes of the meeting of December 16, 2025, as presented.

Voting aye: Young, McDade, Valanejad & Huskey

Nay: none.

Motion carried.

2. (BA\_0425) Public hearing, discussion, consideration, and possible action of an application for a special exception to the Midwest City Zoning Ordinance, Section 7.8.2 – Powers Relative to Special Exceptions (G), Provide for fencing in front of front and side setback building lines – concerning the requirement for fence placement and height in front yards areas, for property located at **1295 North Midwest Boulevard** (Mid-America Park).

Brylee Hester presented the staff report. Huskey inquired whether the proposed fence would stand 10 feet or 12 feet in height. Hester clarified that the fence would be 10 feet tall, noting that the height had been revised following submission of the application. Valanejad subsequently asked about the fence’s distance from the street.

The applicant, Carrie Evenson, was present and addressed the Board. She stated that the fence would be located five (5) feet from the right-of-way and twenty-five (25) feet away from North Midwest Boulevard.

Valanejad then asked whether the City could face liability if a basketball were to bounce onto the arterial roadway. Valanejad inquired about the operating hours for Mid-America Park. There was discussion among the Board members about these topics.

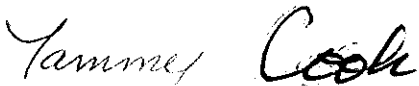
Young made a motion, seconded by McDade, to approve the request on the basis that the criteria required for a special exception had been met.

Voting aye: Young, McDade, & Huskey  
Voting nay: Valanejad  
Motion carried.

- C. **NEW BUSINESS / PUBLIC DISCUSSION:** None
- D. **FURTHER INFORMATION:** None.
- E. **ADJOURN:** A motion was made by Young, seconded by McDade, to adjourn the meeting.

Voting aye: Young, McDade, Valanejad, & Huskey  
Nay: none.  
Motion carried.

The meeting adjourned at 5:17 P.M.



JESS HUSKEY, Chairperson  
(ZD)

**MINUTES OF MIDWEST CITY BOARD OF ADJUSTMENT REGULAR MEETING  
March 17, 2026 – 5:00 P.M.**

This regular meeting of the Midwest City Board of Adjustment was held in the City Council Chambers, 100 North Midwest Boulevard, Midwest City, Oklahoma County, Oklahoma, on March 17, 2026. The following members were present:

Present: Tammy Cook  
Frank Young  
Cy Valanejad  
Charles McDade

Absent: Jess Huskey, Chair

Staff present: Matt Summers – Community Development Director  
Brylee Hester – Planner I  
Zamy Darthard – Planner II  
Don Maisch – City Attorney

**A. CALL TO ORDER:**

The meeting was called to order by Cook at 5:00 P.M.

**B. DISCUSSION ITEMS:**

1. A motion was made by McDade, seconded by Young, to approve the minutes of the meeting on February 17, 2026, as presented.

Voting aye: McDade, Young, Valanejad & Cook.

Nay: none.

Motion carried.

2. (BA-426) Public hearing, discussion, consideration, and possible action of any possible amendment of an application for a variance to the Midwest City Zoning Ordinance Section 5.12.1(B)(1) – Office and Commercial Districts – concerning the requirement that buildings shall consist of eighty (80) percent masonry materials, for the property located at 2500 S Douglas Blvd., Midwest City, OK.

Brylee Hester, Planner I, presented the staff report to the Board. The applicant was present. Valanejad inquired if the existing tree line along the eastern section behind the building will be preserved. David Box, representing the applicant, stated that they intend to preserve the trees behind the building and surrounding the flood zone.

Young asked whether Hardie Board and architectural metal were allowed under the Zoning Regulations. Director of Community Development, Matt Summers, responded about which materials are currently allowed as masonry.

Board members discussed the durability of the proposed material and the potential precedent of approving architectural metal through a Variance request before the Board of Adjustment. Mr. Box stated that the proposed material is more durable than corrugated metal. Box also added that no precedents are anticipated, as each application is considered on its own merits.

Young made a motion, seconded by McDade, to approve the request on the basis that the Variance criteria has been met.

Voting aye: McDade, Valanejad, Young, & Cook  
Voting nay: none.  
Motion carried.

3. (BA-427) Public hearing, discussion, consideration, and possible action of any possible amendment of an application for a variance to the Midwest City Zoning Ordinance Section 5.12.1(B)(3) – Nonresidential Uses within Residential Districts – concerning the requirement that buildings shall consist of eighty (80) percent masonry materials; and 5.12.1(D) – Wall Facade Articulation – concerning the requirement for facade articulation of nonresidential land uses and structures for the property located at 213 Elm St., Midwest City, OK (Midwest City High School).

Brylee Hester presented the staff report. The applicant was present. Valanejad inquired about the materials for the proposed structure on the subject property. Jordan Hall, representing the applicant, informed the Board that they propose using architectural metal with a baked enamel finish for a durable coat. Hall added that the metal building is engineered to incorporate a continuous wind guard. Valanejad inquired about the potential use of masonry for the exterior. Hall explained that substantial weight of brick would require additional support and ultimately necessitate a new structural layout.

McDade inquired if a particular wall shown in the renderings would be brick. Hall confirmed that brick will be used for the referenced exterior wall.

An adjoining property owner, Leslie Estrada, expressed concerns regarding the proposed materials. Hall informed the nearby resident that the architectural metal is a high-end metal with a baked enamel finish and is backed by a state regulated warranty/insurance for potential leaks and other concerns.

A motion was made by McDade, seconded by Valanejad, to approve the Variance regarding the 80 percent masonry requirement and wall façade articulation for the proposed structure.

Voting aye: McDade, Valanejad, Young, & Cook  
Voting nay: none.  
Motion carried.

4. (BA-428) Public hearing, discussion, consideration, and possible action of any possible amendment of an application for a variance to the Midwest City Zoning Ordinance Section 5.12.1(B)(3) – Nonresidential Uses within Residential Districts – concerning the requirement that buildings shall consist of eighty (80) percent masonry materials; and 5.12.1(D) – Wall Facade Articulation – concerning the requirement for facade articulation of nonresidential land uses and structures for the property located at 2009 S Post Rd., Midwest City, OK (Carl Albert High School).

Young proposed to waive the presentation of the staff report on the basis that it involves the same application and request, only at different locations. Brylee Hester, Planner I, illustrated the location of the proposed building.

Young asked the applicant whether all aspects of the Variance request remain the same, aside from the location. Jordan Hall, representing the applicant, stated the proposed structure for (BA-427) and (BA-428) will be identical except for school branding, and that the same Variance is being requested.

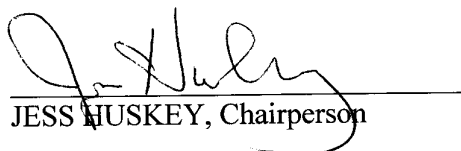
A motion was made by Young, seconded by Valanejad, to approve the Variance concerning the 80 percent masonry requirement and wall façade articulation for the proposed structure.

Voting aye: Young, Valanejad, McDade, & Cook  
Nay: none.  
Motion carried.

- C. **NEW BUSINESS / PUBLIC DISCUSSION:** None
- D. **FURTHER INFORMATION:** None.
- E. **ADJOURN:** A motion was made by Young, seconded by McDade, to adjourn the meeting.

Voting aye: Young, McDade, Valanejad, & Cook  
Nay: none.  
Motion carried.

The meeting adjourned at 5:27 P.M.

  
JESS HUSKEY, Chairperson

(ZD)



**Human Resources**  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
office 405.739.1235

**Memorandum**

**TO:** Honorable Mayor and Council  
**FROM:** Troy Bradley, Human Resources Director  
**DATE:** June 23, 2026  
**RE:** Monthly report on the City of Midwest City Employees' Health Benefits Plan by the City Manager.

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This item is placed on the agenda at the request of the Council. Attached to this memo is information regarding the current financial condition of the City Employees' Health Benefits Plan for the month of May 2026, which is the eleventh (11) period of FY 2025/2026.

Troy Bradley, Human Resources Director

<b>FISCAL YEAR 2025-2026</b>	<b>Jul-25</b>	<b>Aug-25</b>	<b>Sep-25</b>	<b>Oct-25</b>	<b>Nov-25</b>	<b>Dec-25</b>	<b>Jan-26</b>	<b>Feb-26</b>	<b>Mar-26</b>	<b>Apr-26</b>	<b>May-26</b>	<b>Jun-26</b>
<b>PLAN INCOME</b>												
Projected Budgeted (MTD)	968,983	968,983	968,983	968,983	968,983	968,983	968,983	968,983	968,983	968,983	968,983	968,983
Actual (MTD)	925,863	946,617	954,697	937,766	927,354	1,114,908	916,094	1,033,181	935,814	948,482	978,394	
Projected Budgeted (YTD)	968,983	1,937,966	2,906,949	3,875,932	4,844,915	5,813,898	6,782,881	7,751,864	8,720,847	9,689,830	10,658,813	11,627,796
Actual (YTD)	925,863	1,872,480	2,827,177	3,764,943	4,692,297	5,807,205	6,723,299	7,756,480	8,692,294	9,640,776	10,619,170	
<b>PLAN CLAIMS/ADMIN COSTS</b>	<b>Jul-25</b>	<b>Aug-25</b>	<b>Sep-25</b>	<b>Oct-25</b>	<b>Nov-25</b>	<b>Dec-25</b>	<b>Jan-26</b>	<b>Feb-26</b>	<b>Mar-26</b>	<b>Apr-26</b>	<b>May-26</b>	<b>Jun-26</b>
Projected Budgeted (MTD)	885,720	885,720	1,107,150	885,720	885,720	1,107,150	885,720	885,720	1,107,150	885,720	885,720	1,107,150
Actual (MTD)	823,840	1,321,553	1,048,759	1,023,119	1,121,793	843,641	1,203,889	707,970	962,991	860,279	798,654	
Projected Budgeted (YTD)	885,720	1,771,440	2,878,590	3,764,310	4,650,030	5,757,180	6,642,900	7,528,620	8,635,770	9,521,490	10,407,210	11,514,360
Actual (YTD)	823,840	2,145,393	3,194,152	4,217,271	5,339,064	6,182,705	7,386,594	8,094,564	9,057,555	9,917,834	10,716,488	
<b>EXCESS INCOME vs. EXPENDITURES</b>	<b>Jul-25</b>	<b>Aug-25</b>	<b>Sep-25</b>	<b>Oct-25</b>	<b>Nov-25</b>	<b>Dec-25</b>	<b>Jan-26</b>	<b>Feb-26</b>	<b>Mar-26</b>	<b>Apr-26</b>	<b>May-26</b>	<b>Jun-26</b>
Projected Budgeted (MTD)	83,263	83,263	-138,167	83,263	83,263	-138,167	83,263	83,263	-138,167	83,263	83,263	-138,167
Actual (MTD)	102,023	-374,936	-94,062	-85,353	-194,439	271,267	-287,795	325,211	-27,177	88,203	179,740	
Projected Budgeted (YTD)	83,263	166,526	28,359	111,622	194,885	56,718	139,981	223,244	85,077	168,340	251,603	113,436
Actual (YTD)	102,023	-272,913	-366,975	-452,328	-646,767	-375,500	-663,295	-338,084	-365,261	-277,058	-97,318	

<b>FISCAL YEAR 2024-2025</b>	<b>Jul-24</b>	<b>Aug-24</b>	<b>Sep-24</b>	<b>Oct-24</b>	<b>Nov-24</b>	<b>Dec-24</b>	<b>Jan-25</b>	<b>Feb-25</b>	<b>Mar-25</b>	<b>Apr-25</b>	<b>May-25</b>	<b>Jun-25</b>
<b>PLAN INCOME</b>												
Projected Budgeted (MTD)	963,681	963,681	963,681	963,681	963,681	963,681	963,681	963,681	963,681	963,681	963,681	963,681
Actual (MTD)	1,438,404	897,547	910,732	1,029,474	983,958	906,254	898,970	902,636	950,624	876,782	927,455	935,273
Projected Budgeted (YTD)	963,681	1,927,362	2,891,043	3,854,724	4,818,405	5,782,086	6,745,767	7,709,448	8,673,129	9,636,810	10,600,491	11,564,172
Actual (YTD)	1,438,404	2,335,951	3,246,683	4,276,157	5,260,115	6,166,369	7,065,339	7,967,975	8,918,599	9,795,381	10,722,836	11,658,109
<b>PLAN CLAIMS/ADMIN COSTS</b>	<b>Jul-24</b>	<b>Aug-24</b>	<b>Sep-24</b>	<b>Oct-24</b>	<b>Nov-24</b>	<b>Dec-24</b>	<b>Jan-25</b>	<b>Feb-25</b>	<b>Mar-25</b>	<b>Apr-25</b>	<b>May-25</b>	<b>Jun-25</b>
Projected Budgeted (MTD)	1,066,931	853,545	1,066,931	853,545	853,545	1,066,931	853,545	853,545	1,066,931	853,545	853,545	1,066,931
Actual (MTD)	739,422	896,199	1,040,618	888,177	960,024	1,039,942	979,095	929,105	938,811	808,945	1,028,454	922,187
Projected Budgeted (YTD)	1,066,931	1,920,476	2,987,407	3,840,952	4,694,497	5,761,428	6,614,973	7,468,518	8,535,449	9,388,994	10,242,539	11,309,470
Actual (YTD)	739,422	1,635,621	2,676,239	3,564,416	4,524,440	5,564,382	6,543,477	7,472,582	8,411,393	9,220,338	10,248,792	11,170,979
<b>EXCESS INCOME vs. EXPENDITURES</b>	<b>Jul-24</b>	<b>Aug-24</b>	<b>Sep-24</b>	<b>Oct-24</b>	<b>Nov-24</b>	<b>Dec-24</b>	<b>Jan-25</b>	<b>Feb-25</b>	<b>Mar-25</b>	<b>Apr-25</b>	<b>May-25</b>	<b>Jun-25</b>
Projected Budgeted (MTD)	-103,250	110,136	-103,250	110,136	110,136	-103,250	110,136	110,136	-103,250	110,136	110,136	-103,250
Actual (MTD)	698,982	1,348	-129,886	141,297	23,934	-133,688	-80,125	-26,469	11,813	67,837	-100,999	13,086
Projected Budgeted (YTD)	-103,250	6,886	-96,364	13,772	123,908	20,658	130,794	240,930	137,680	247,816	357,952	254,702
Actual (YTD)	698,982	700,330	570,444	711,741	735,675	601,987	521,862	495,393	507,206	575,043	474,044	487,130

May 11/FY 2026: \$2,730,966  
 May 11/FY 2025: \$2,815,156  
 May 11/FY 2024: \$2,438,417  
 May 11/FY 2023: \$2,480,842

\*\*\* HAD FIVE MONDAYS WITH REPORTED MEDICAL CLAIMS PAID\*\*\*



**City Manager's Office**  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
Office 405.739.1205

## MEMORANDUM

TO: Honorable Chairman and Trustees  
Midwest City Municipal Authority

FROM: Ryan Rushing, Director of Operations

DATE: June 23, 2026

SUBJECT: Review of the monthly report of the Delta Hotel at the Reed Center

This item is on the agenda at the request of the Authority. Attached to this memorandum is information concerning the status of the Delta Hotel at the Reed Center.

Any time you have a question concerning the conference center and hotel, please feel free to contact me at 739-1205.

<b>Fiscal Year 2025-2026</b>	Jul-25	Aug-25	Sep-25	Oct-25	Nov-25	Dec-25	Jan-26	Feb-26	Mar-26	Apr-26	May-26	Jun-26
<b>Revenue</b>												
Budgeted (MTD)	345,128	451,945	426,170	530,010	423,359	249,419	233,468	381,724	509,728	563,942	453,455	-
Actual (MTD)	208,014	309,651	475,816	314,230	291,688	180,170	197,846	396,981	447,393	437,063	389,472	-
Budgeted (YTD)	345,128	797,073	1,223,243	1,753,253	2,176,612	2,426,031	2,659,499	3,041,223	3,550,951	4,114,893	4,568,348	4,568,348
Actual (YTD)	208,014	517,664	993,480	1,307,711	1,599,399	1,779,569	1,977,415	2,374,396	2,821,789	3,258,853	3,648,325	3,648,325

<b>Expenses</b>												
Budgeted (MTD)	374,303	417,304	406,217	453,432	392,053	349,688	325,962	370,551	435,730	473,637	414,965	-
Actual (MTD)	307,558	277,081	328,183	332,368	325,159	250,465	272,441	307,824	371,931	364,850	322,692	-
Budgeted (YTD)	374,303	791,607	1,197,824	1,651,256	2,043,309	2,392,997	2,718,959	3,089,510	3,525,240	3,998,877	4,413,842	4,413,842
Actual (YTD)	307,558	584,638	912,821	1,245,189	1,570,347	1,820,813	2,093,254	2,401,078	2,773,009	3,137,859	3,460,551	3,460,551

<b>Revenue vs. Expenses</b>												
Budgeted (MTD)	(29,175)	34,641	19,953	76,578	31,306	(100,269)	(92,494)	11,173	73,998	90,305	38,490	-
Actual (MTD)	(99,544)	32,570	147,633	(18,137)	(33,471)	(70,295)	(74,595)	89,157	75,462	72,213	66,780	-
Budgeted (YTD)	(29,175)	5,466	25,419	101,997	133,303	33,034	(59,460)	(48,287)	25,711	116,016	154,506	154,506
Actual (YTD)	(99,544)	(66,974)	80,659	62,522	29,051	(41,244)	(115,839)	(26,682)	48,780	120,993	187,774	187,774

<b>Key Indicators</b>												
Hotel Room Revenue	155,168	166,113	282,553	219,988	171,036	126,927	146,576	243,030	315,263	289,797	343,810	-
Food and Banquet Revenue	48,240	136,359	171,367	85,382	100,211	50,834	45,624	132,318	112,573	133,995	44,004	-

<b>Fiscal Year 2024-2025</b>	Jul-24	Aug-24	Sep-24	Oct-24	Nov-24	Dec-24	Jan-25	Feb-25	Mar-25	Apr-25	May-25	Jun-25
<b>Revenue</b>												
Budgeted (MTD)	361,558	447,298	478,624	481,412	554,152	264,524	194,867	413,768	551,005	545,390	523,917	676,519
Actual (MTD)	236,840	348,667	396,465	536,644	414,135	166,685	197,392	456,186	405,012	346,182	515,182	564,385
Budgeted (YTD)	361,558	808,856	1,287,480	1,768,892	2,323,044	2,587,568	2,782,435	3,196,203	3,747,208	4,292,598	4,816,515	5,493,034
Actual (YTD)	236,840	585,507	981,973	1,518,617	1,932,752	2,099,437	2,296,829	2,753,015	3,158,028	3,504,209	4,019,391	4,583,776

<b>Expenses</b>												
Budgeted (MTD)	323,603	354,158	392,893	439,581	398,058	274,391	274,767	353,581	426,058	417,715	382,026	444,968
Actual (MTD)	356,855	359,066	319,753	400,006	407,917	317,156	272,336	394,563	418,974	589,240	443,618	444,353
Budgeted (YTD)	323,603	677,761	1,070,654	1,510,235	1,908,293	2,182,684	2,457,451	2,811,032	3,237,090	3,654,805	4,036,831	4,481,799
Actual (YTD)	356,855	715,922	1,035,674	1,435,680	1,843,597	2,160,753	2,433,089	2,827,652	3,246,625	3,835,865	4,279,483	4,723,836

<b>Revenue vs. Expenses</b>												
Budgeted (MTD)	37,955	93,140	85,731	41,831	156,094	(9,867)	(79,900)	60,187	124,947	127,675	141,891	231,551
Actual (MTD)	(120,015)	(10,399)	76,712	136,639	6,218	(150,471)	(74,944)	61,623	(13,961)	(243,058)	71,564	120,032
Budgeted (YTD)	37,955	131,095	216,826	258,657	414,751	404,884	324,984	385,171	510,118	637,793	779,684	1,011,235
Actual (YTD)	(120,015)	(130,414)	(53,702)	82,937	89,155	(61,316)	(136,260)	(74,636)	(88,598)	(331,656)	(260,092)	(140,060)

<b>Key Indicators</b>												
Hotel Room Revenue	158,572	164,803	212,709	257,792	256,673	125,250	137,099	211,512	234,447	207,899	321,960	335,740
Food and Banquet Revenue	59,344	173,788	118,445	242,896	145,237	38,147	52,875	215,032	138,082	108,007	126,941	144,794



**Finance Department**  
100 N. Midwest Boulevard  
Midwest City, OK 73110  
tcromar@midwestcityok.org  
Office: 405-739-1245  
www.midwestcityok.org

TO: Honorable Mayor and City Council  
FROM: Tiatia Cromar, Finance Director/ City Treasurer  
DATE: June 23, 2026

SUBJECT: Review of the City Manager's Report for the month of May 2026.

The funds in May that experienced a significant change in fund balance from the April report are as follows:

**2018 Election G.O. Bond (270)** increased, and **2018 G.O. Bonds Proprietary (271)** decreased due to fund balance transfer of \$305,288 to close fund 271.

**MWC Sewer Department (192)** decreased because of the payments for:  
Equipment

<\$626,474>

**G.O. Debt Services (350)** decreased due to the following activities:

Series 2019A interest payment	<\$206,625>
Series 2019A principal payment	<\$725,000>
Series 2020A interest payment	<\$63,250>
Series 2020A principal payment	<\$275,000>
Series 2021A interest payment	<\$82,450>
Series 2021A principal payment	<\$375,000>

**Economic Dev. Authority (353)** decreased because of the payments to:  
Cimarron Construction Company, LLC

<\$693,484>

**MWC Hospital Authority (425)** activities for May:

Compounded Principal (9010) - unrealized gain on investment	\$2,900,869
Discretionary (9050) - unrealized gain on investment	\$1,363,209

*Tiatia Cromar*

Tiatia Cromar  
Finance Director/ City Treasurer

City of Midwest City  
Financial Summary by Fund  
for Period Ending May, 2026

(Unaudited)

Fund Number	Fund Description	Assets	Liabilities	6/30/2025 Fund Balance	Revenues	Expenditures	Gain or (Loss)	Fund Balance
9	GENERAL GOVERNMENT SALES TAX	11,326,279	(17,126)	10,698,872	4,235,829	(3,625,548)	610,280	11,309,152
10	GENERAL	16,469,172	(137,978)	14,881,636	42,942,305	(41,492,747)	1,449,558	16,331,194
13	STREET AND ALLEY FUND	2,212,512	-	2,116,708	577,185	(481,381)	95,804	2,212,512
14	TECHNOLOGY FUND	1,320,751	-	799,731	1,960,699	(1,439,679)	521,021	1,320,751
15	STREET LIGHT FEE	472,622	-	695,053	559,738	(782,169)	(222,431)	472,622
16	REIMBURSED PROJECTS	1,757,253	(1,600)	902,307	1,057,373	(204,027)	853,346	1,755,653
20	MWC POLICE DEPARTMENT	15,359,482	(2,661)	16,248,268	18,844,424	(19,735,872)	(891,447)	15,356,820
21	POLICE CAPITALIZATION	2,862,198	-	2,321,559	2,796,771	(2,256,132)	540,639	2,862,198
25	JUVENILE FUND	123,557	-	125,414	39,485	(41,343)	(1,858)	123,557
30	POLICE STATE SEIZURES	85,724	-	85,949	6,568	(6,793)	(225)	85,724
31	SPECIAL POLICE PROJECTS	96,971	-	92,543	9,428	(5,000)	4,428	96,971
35	EMPLOYEE ACTIVITY FUND	25,114	(1,088)	17,660	23,966	(17,600)	6,366	24,026
36	JAIL	330,888	-	313,718	78,256	(61,086)	17,170	330,888
37	POLICE IMPOUND FEE	155,770	-	153,924	31,805	(29,959)	1,846	155,770
40	MWC FIRE DEPARTMENT	10,853,198	(4)	10,334,533	14,514,910	(13,996,248)	518,661	10,853,194
41	FIRE CAPITALIZATION	1,888,809	-	3,122,389	907,244	(2,140,824)	(1,233,581)	1,888,809
45	MWC WELCOME CENTER	601,347	-	669,719	132,172	(200,544)	(68,372)	601,347
46	CONV / VISITORS BUREAU	960,236	-	911,480	302,403	(253,647)	48,756	960,236
60	CAPITAL DRAINAGE IMP	53,673	-	283,841	437,696	(667,864)	(230,167)	53,673
61	STORM WATER QUALITY	1,517,039	-	1,595,559	1,390,420	(1,468,940)	(78,520)	1,517,039
65	STREET TAX FUND	2,833,120	-	2,588,874	624,833	(380,587)	244,246	2,833,120
70	EMERGENCY OPER FUND	1,914,769	-	1,926,358	1,224,331	(1,235,919)	(11,589)	1,914,769
75	PUBLIC WORKS ADMIN	1,942,046	-	1,214,464	2,333,680	(1,606,098)	727,582	1,942,046
80	INTERSERVICE FUND	687,844	-	641,874	3,522,832	(3,476,862)	45,969	687,844
81	SURPLUS PROPERTY	1,099,857	(868,382)	197,245	72,430	(38,200)	34,229	231,475
115	ACTIVITY FUND	389,931	(315)	466,020	247,991	(324,395)	(76,404)	389,616
123	PARK & RECREATION	4,841,132	(12,764)	3,615,005	1,981,358	(767,995)	1,213,363	4,828,368
141	COMM. DEV. BLOCK GRANT	6,029	-	6,029	627,496	(627,496)	-	6,029
142	GRANTS/HOUSING ACTIVITIES	271,960	-	301,962	102,200	(132,202)	(30,002)	271,960
143	GRANT FUNDS	89,362	(29,362)	60,000	912,025	(912,025)	-	60,000
157	CAPITAL IMPROVEMENTS	12,307,419	(237,135)	9,616,479	5,099,011	(2,645,206)	2,453,805	12,070,284
172	CAP. WATER IMP-WALKER	1,442,360	-	1,655,017	1,201,773	(1,414,430)	(212,657)	1,442,360
178	CONST LOAN PAYMENT REV	7,114,420	-	5,898,441	2,125,416	(909,437)	1,215,979	7,114,420
184	SEWER BACKUP FUND	246,609	-	164,471	82,139	-	82,139	246,609
186	SEWER CONSTRUCTION	6,092,115	-	4,727,583	1,823,302	(458,770)	1,364,532	6,092,115

City of Midwest City  
Financial Summary by Fund  
for Period Ending May, 2026

(Unaudited)

Fund Number	Fund Description	Assets	Liabilities	6/30/2025 Fund Balance	Revenues	Expenditures	Gain or (Loss)	Fund Balance
187	UTILITY SERVICES	1,942,673	(924)	1,560,388	1,517,475	(1,136,114)	381,362	1,941,750
188	CAP. SEWER IMP.-STROTH	3,634,029	(32,336)	2,702,775	2,424,170	(1,525,252)	898,917	3,601,692
189	UTILITIES CAPITAL OUTLAY	4,094,215	(104,097)	3,309,134	1,670,984	(990,000)	680,984	3,990,118
190	MWC SANITATION DEPARTMENT	8,579,770	-	8,406,772	9,147,635	(8,974,637)	172,998	8,579,770
191	MWC WATER DEPARTMENT	8,452,023	(3,081,730)	5,939,110	9,687,394	(10,256,210)	(568,817)	5,370,293
192	MWC SEWER DEPARTMENT	7,941,870	(69,556)	7,641,806	10,290,991	(10,060,484)	230,507	7,872,313
193	MWC UTILITIES AUTHORITY	1,415,030	-	1,382,263	34,767	(2,000)	32,767	1,415,030
194	DOWNTOWN REDEVELOPMENT	17,037	-	380,048	7,142	(370,153)	(363,011)	17,037
195	HOTEL/CONFERENCE CENTER	960,463	(1,328,806)	(556,117)	3,648,325	(3,460,551)	187,774	(368,343)
196	HOTEL 4% FF&E	1,076,369	-	967,216	155,603	(46,449)	109,154	1,076,369
197	JOHN CONRAD REGIONAL GOLF	2,247,479	(10,332)	1,723,950	2,058,515	(1,545,318)	513,197	2,237,147
201	URBAN RENEWAL AUTHORITY	2,688,039	(37,901)	2,554,079	139,739	(43,681)	96,059	2,650,138
202	RISK MANAGEMENT	1,692,990	-	1,678,061	1,788,310	(1,773,381)	14,929	1,692,990
204	WORKERS COMP	3,669,741	-	3,642,975	916,413	(889,646)	26,766	3,669,741
220	ANIMALS BEST FRIEND	192,412	(2,000)	141,209	85,074	(35,870)	49,203	190,412
225	HOTEL MOTEL FUND	-	-	-	838,878	(838,878)	-	-
230	CUSTOMER DEPOSITS	1,487,723	(1,487,723)	-	45,730	(45,730)	-	-
235	MUNICIPAL COURT	122,924	(122,924)	-	3,345	(3,345)	-	-
240	L & H BENEFITS	2,838,931	(51,453)	2,835,074	10,611,134	(10,658,730)	(47,596)	2,787,478
250	CAPITAL IMP REV BOND	1,373,388	(27,388,904)	(26,472,617)	11,095,997	(10,638,897)	457,100	(26,015,517)
270	2018 ELECTION G.O. BOND	2,093,876	-	2,571,356	173,324	(650,805)	(477,480)	2,093,876
271	2018 G.O. BONDS PROPRIETARY	-	-	-	-	-	-	-
272	2022 ISSUE G.O. BOND	844,799	-	906,819	26,997	(89,017)	(62,020)	844,799
310	DISASTER RELIEF	8,397,611	(226,774)	8,091,790	463,082	(384,035)	79,047	8,170,837
340	REVENUE BOND SINKING FUND	147,914	-	-	2,397,925	(2,250,011)	147,914	147,914
350	G. O. DEBT SERVICES	2,677,317	(14,576)	2,817,853	3,850,713	(4,005,825)	(155,112)	2,662,741
352	SOONER ROSE TIF	2,095,324	-	1,589,915	841,371	(335,963)	505,408	2,095,324
353	ECONOMIC DEV AUTHORITY	59,190,470	(50,613,630)	9,355,019	1,820,890	(2,599,069)	(778,179)	8,576,840
354	NORTHSIDE TIF	28,642	(267,076)	(239,301)	867	-	867	(238,434)
425-9010	MWC HOSP AUTH-COMP PRINCIPAL	121,991,149	(3,826)	115,727,316	13,156,723	(6,896,711)	6,260,011	121,987,327
425-9050	MWC HOSP AUTH-DISCRETIONARY	29,145,041	(943)	23,574,323	7,647,924	(2,078,150)	5,569,773	29,144,096
425-9060	MWC HOSP IN LIEU OF/ROR/MISC	11,691,964	(32,613)	11,304,646	1,027,680	(672,975)	354,705	11,659,351
425-9080	MWC HOSP AUTH GRANTS	456,990	-	569,062	582,097	(694,169)	(112,072)	456,990
425-9090	MWC HOSP AUTH OPIOID SETTLEMENT	1,718,040	(4,510)	1,407,942	306,855	(1,266)	305,589	1,713,531
	<b>TOTAL</b>	<b>404,657,807</b>	<b>(86,191,049)</b>	<b>294,963,549</b>	<b>211,293,562</b>	<b>(187,790,349)</b>	<b>23,503,213</b>	<b>318,466,762</b>